

DEVELOPMENT APPLICATION
280-298 RAILWAY PARADE, CARLTON NSW

DRAWING LIST		
No.	TITLE	Rev. No
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DA5.02	SOLAR ACCESS	F
DA5.03	CROSS OVER VENTILATION	F
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DA5.05	SHADOW ANALYSIS 21 JUNE 10AM	D
DA5.06	SHADOW ANALYSIS 21 JUNE 11AM	D
DA5.07	SHADOW ANALYSIS 21 JUNE 12PM	D
DA5.08	SHADOW ANALYSIS 21 JUNE 1PM	D
DA5.09	SHADOW ANALYSIS 21 JUNE 2PM	D
DA5.10	SHADOW ANALYSIS 21 JUNE 3PM	C
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DA6.04	UNIT D	D
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DA8.03	VIEW 3	D



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	B	2019.02.10	PRELIMINARY	CS	M	2019.10.10	FOR COORDINATION	CS
	C	2019.03.07	PRE-DA	PS	N	2019.10.15	FOR COORDINATION	CS
	D	2019.04.24	PRE-DA	PS	O	2019.11.08	FOR COORDINATION	AS
	E	2019.05.15	PRELIMINARY	CS	P	2019.11.15	FOR COORDINATION	AS
	F	2019.05.28	PRELIMINARY	CS	Q	2020.07.12	POST SUBMISSION AMENDMENTS	PS
	G	2019.09.13	FOR COORDINATION	CS	R	2020.08.18	POST SUBMISSION AMENDMENTS	PS
	H	2019.09.19	FOR COORDINATION	CS				
	I	2019.09.20	FOR COORDINATION	CS				
	J	2019.09.24	FOR COORDINATION	CS				

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CLIENT		COVER SHEET			
PROJECT 280-298 Railway Parade, Carlton, NSW		SCALE NTS	DATE 11.01.2019	DRAWN AS	CHECKED PS
		JOB 18077	DRAWING DA0.01	REVISION R	

ITEM	STAGE 1+2 MIXED USE
TOTAL SITE AREA (including the R3 zone)	3,513.1smq
TOTAL PROPOSED GFA	8,972sqm
TOTAL PROPOSED FSR (including R3 Zone)	2.55:1
TOTAL SITE AREA (excluding the R3 zone)	3,307.8smq
TOTAL PROPOSED GFA	8,972sqm
TOTAL PROPOSED FSR (excluding the R3 Zone)	2.71:1

GROUND FLOOR	GFA BREAKDOWN
GROUND FLOOR	retail 350 + 538sqm
FIRST FLOOR	office lobby 200 + residential lobby 163sqm
SECOND FLOOR	office 978sqm + residential 735sqm
THIRD FLOOR	office 978sqm + residential 735sqm
FOURTH FLOOR	office 978sqm + residential 735sqm
FIFTH FLOOR	office 978sqm + residential 735sqm
SIXTH FLOOR	office 20sqm + residential 735sqm
TOTAL GFA	residential 406sqm

STAGE 1+2	CAR PARKING PROPOSED	CAR PARKING REQUIRED
RETAIL GFA	888sqm	35 CAR PARKING SPACES FOR RETAIL (1car/25sqm)
COMMERCIAL GFA	4,132sqm	103 CAR PARKING SPACES FOR COMMERCIAL (1car/40sqm)
RESIDENTIAL GFA	3,952sqm	2 CAR PARKING SPACES FOR COURIERS
		57 CAR PARKING SPACES FOR RESIDENTIAL
		10 CAR PARKING SPACES FOR RESIDENTIAL VISITORS
	8,972sqm	207 CAR PARKING SPACES

ITEM	STAGE 1 COMMERCIAL	STAGE 2 MIXED USE
TOTAL SITE AREA (including the R3 zone)	na	1,720.3sqm
TOTAL PROPOSED GFA	na	4,490sqm
TOTAL PROPOSED FSR (including R3 Zone)	na	2.61:1
TOTAL SITE AREA (excluding the R3 zone)	1,792.8sqm	1,515.0sqm
TOTAL PROPOSED GFA	4,482sqm	4,490sqm
TOTAL PROPOSED FSR (excluding the R3 Zone)	2.5:1	2.97:1
PERMISSIBLE FSR	2.5:1	(including 0.5:1 bonus) 3.0:1

GROUND FLOOR	GFA BREAKDOWN
GROUND FLOOR	retail 350sqm
FIRST FLOOR	office lobby 200sqm
SECOND FLOOR	office 978sqm
THIRD FLOOR	office 978sqm
FOURTH FLOOR	office 978sqm
FIFTH FLOOR	office amenities 020sqm
SIXTH FLOOR	na sqm
GFA	4482 sqm

STAGE 1	CAR PARKING PROPOSED	STAGE 2	CAR PARKING PROPOSED
RETAIL GFA	350sqm	538sqm	21 CAR PARKING SPACES FOR RETAIL
COMMERCIAL GFA	4,132sqm	0sqm	0 CAR PARKING SPACES FOR COMMERCIAL
			0 CAR PARKING SPACES FOR COURIERS
RESIDENTIAL GFA	0sqm	3,952sqm	57 CAR PARKING SPACES FOR RESIDENTIAL
			10 CAR PARKING SPACES FOR RESIDENTIAL VISITORS
			88 CAR PARKING SPACES

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	B	2019.02.10	PRELIMINARY	CS	M	2019.11.26	FOR COORDINATION	AS
	C	2019.03.07	PRE-DA	PS	N	2020.08.18	POST SUBMISSION AMENDMENTS	PS
	D	2019.04.24	PRE-DA	PS	M	2020.08.28	POST SUBMISSION AMENDMENTS	PS
	E	2019.05.15	PRELIMINARY	CS				
	F	2019.09.13	FOR COORDINATION	CS				
	G	2019.09.20	FOR COORDINATION	CS				
	H	2019.09.24	FOR COORDINATION	CS				
	I	2019.10.05	FOR COORDINATION	CS				
	J	2019.10.14	FOR COORDINATION	CS				

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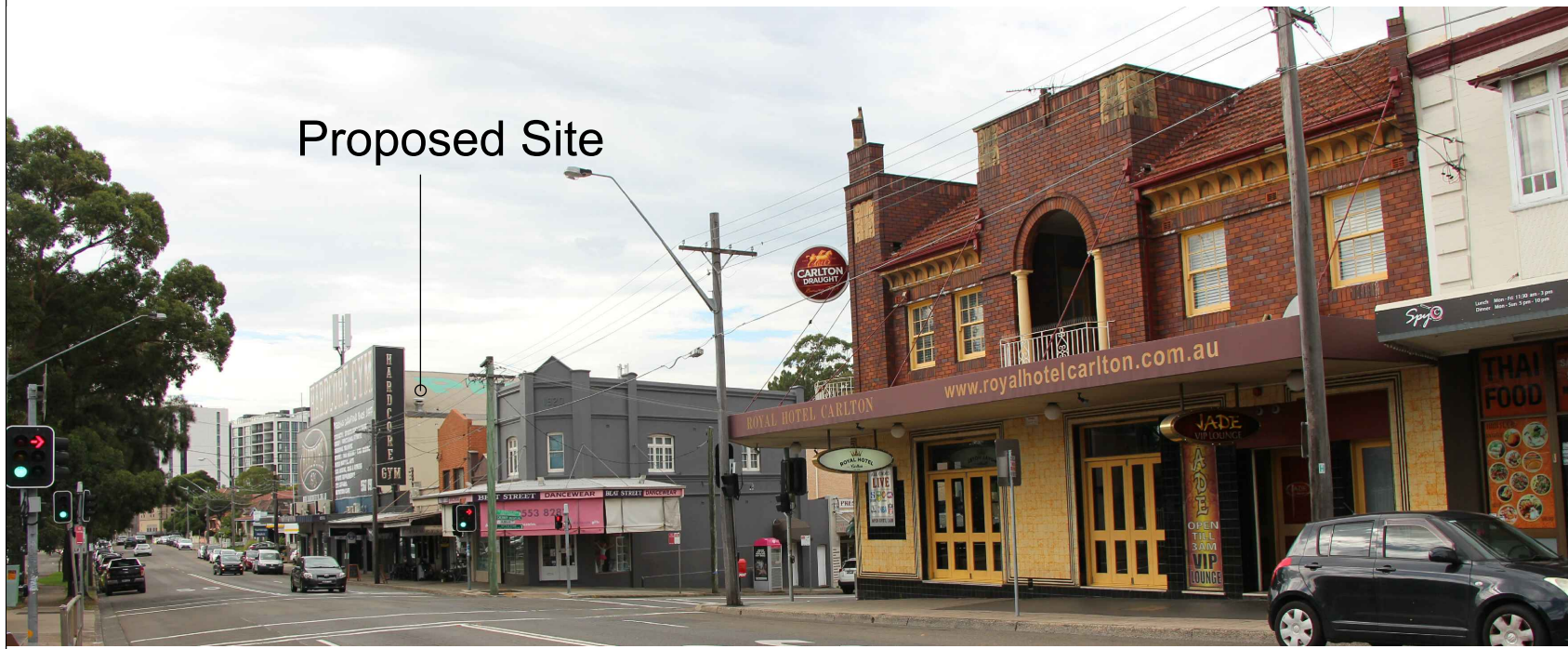
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	RESIDENTIAL UNIT	TYPE	NSA	AREAS BALCONIES	SOLAR ACCESS	CROSS VENTILATION
FIRST FLOOR						
A.1.1	2 BED	F	80 sqm	13 sqm	YES	YES
A.1.2	1 BED	A	50 sqm	21 sqm	YES	
A.1.3	1 BED	A	50 sqm	10 sqm	YES	
A.1.4	2 BED	E	82 sqm	19 sqm	YES	YES
A.1.5	adaptable 2 BED	C	79 sqm	10 sqm		YES
B.1.1	2 BED	D	79 sqm	13 sqm	YES	YES
B.1.2	1 BED	A	50 sqm	21 sqm	YES	
B.1.3	1 BED	A	50 sqm	10 sqm	YES	
B.1.4	2 BED	B	82 sqm	17 sqm	YES	YES
B.1.5	adaptable 2 BED	C	79 sqm	10 sqm		YES
SECOND FLOOR						
A.2.1	2 BED	F	80 sqm	10 sqm	YES	YES
A.2.2	1 BED	A	50 sqm	8 sqm	YES	
A.2.3	1 BED	A	50 sqm	8 sqm	YES	
A.2.4	2 BED	E	82 sqm	19 sqm	YES	YES
A.2.5	adaptable 2 BED	C	79 sqm	10 sqm		YES
B.2.1	2 BED	D	79 sqm	13 sqm	YES	YES
B.2.2	1 BED	A	50 sqm	8 sqm	YES	
B.2.3	1 BED	A	50 sqm	8 sqm	YES	
B.2.4	2 BED	B	82 sqm	10 sqm	YES	YES
B.2.5	adaptable 2 BED	C	79 sqm	10 sqm		YES
THIRD FLOOR						
A.3.1	2 BED	F	80 sqm	10 sqm	YES	YES
A.3.2	1 BED	A	50 sqm	8 sqm	YES	
A.3.3	1 BED	A	50 sqm	8 sqm	YES	
A.3.4	2 BED	E	82 sqm	19 sqm	YES	YES
A.3.5	adaptable 2 BED	C	79 sqm	10 sqm		YES
B.3.1	2 BED	D	79 sqm	13 sqm	YES	YES
B.3.2	1 BED	A	50 sqm	8 sqm	YES	
B.3.3	1 BED	A	50 sqm	8 sqm	YES	
B.3.4	2 BED	B	82 sqm	10 sqm	YES	YES
B.3.5	adaptable 2 BED	C	79 sqm	10 sqm		YES
FOURTH FLOOR						
A.4.1	2 BED	F	80 sqm	10 sqm	YES	YES
A.4.2	1 BED	A	50 sqm	8 sqm	YES	
A.4.3	1 BED	A	50 sqm	8 sqm	YES	
A.4.4	2 BED	E	82 sqm	19 sqm	YES	YES
A.4.5	2 BED	C	79 sqm	10 sqm		YES
B.4.1	2 BED	D	79 sqm	13 sqm	YES	YES
B.4.2	1 BED	A	50 sqm	8 sqm	YES	
B.4.3	1 BED	A	50 sqm	8 sqm	YES	
B.4.4	2 BED	B	82 sqm	10 sqm	YES	YES
B.4.5	2 BED	C	79 sqm	10 sqm		YES
FIFTH FLOOR						
A.5.1	2 BED	F	80 sqm	10 sqm	YES	YES
A.5.2	1 BED	A	50 sqm	8 sqm	YES	
A.5.3	1 BED	A	50 sqm	8 sqm	YES	
A.5.4	2 BED	E	82 sqm	19 sqm	YES	YES
A.5.5	2 BED	C	79 sqm	10 sqm		YES
B.5.1	2 BED	D	79 sqm	13 sqm	YES	YES
B.5.2	1 BED	A	50 sqm	8 sqm	YES	
B.5.3	1 BED	A	50 sqm	8 sqm	YES	
B.5.4	2 BED	B	82 sqm	10 sqm	YES	YES
B.5.5	2 BED	C	79 sqm	10 sqm		YES
50			3,405 sqm	560 sqm	40	30
TOTAL RESIDENTIAL UNITS			NSA	BALCONY AREAS	80.0% SOLAR ACCESS	60.0% CROSS VENTILATION
1 BED	20	40.00%				
2 BED	30	60.00%				
50						



SOUTHERN VIEW 1 FROM ROYAL HOTEL CARLTON FROM RAILWAY PARADE



NORTH EASTERN VIEW 2 FROM ROYAL HOTEL CARLTON FROM RAILWAY PARADE



WEST VIEW 3 OF STATION AND RAILWAY PARADE



VIEW 4 OF 256 - 260 RAILWAY PARADE



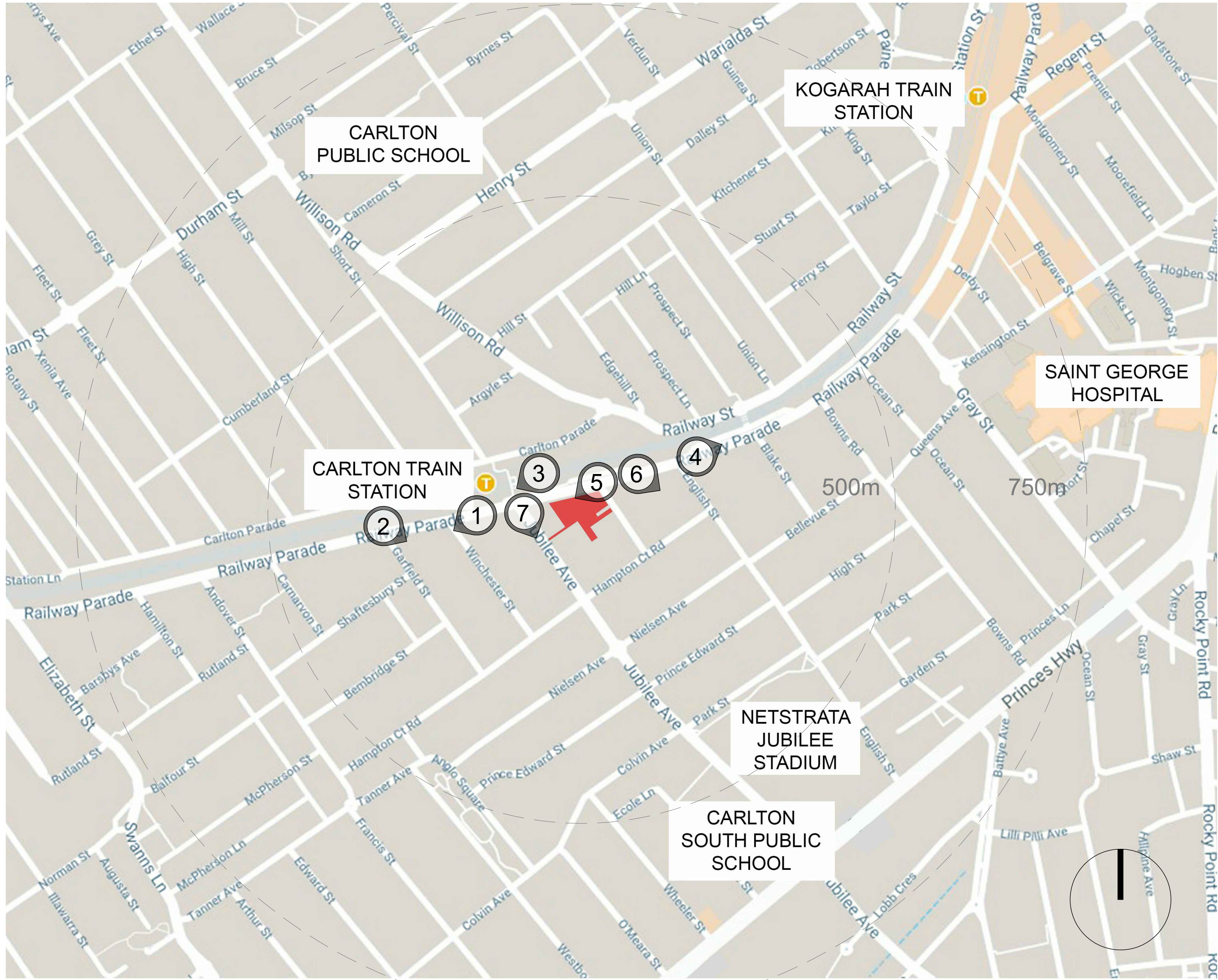
VIEW 5 OF THE SITE FROM EAST SIDE RAILWAY PARADE



VIEW 6 OF 276 & 278 RAILWAY PARADE



VIEW 7 SOUTHEN OF JUBILEE AVENUE



SITE LOCATION

280-298 Railway Parade is situated in North Carlton and is opposite Carlton Train Station. The site is currently surrounded by multi-residential and single dwellings. The main Frontage to Railway parade is characterized by commercial establishments including cafes, small shops and the Royal Hotel Carlton.

The land is zoned B2 with a maximum FSR of 2.5 (excluding bonus) and a height limit of 21 meters under LEP controls.

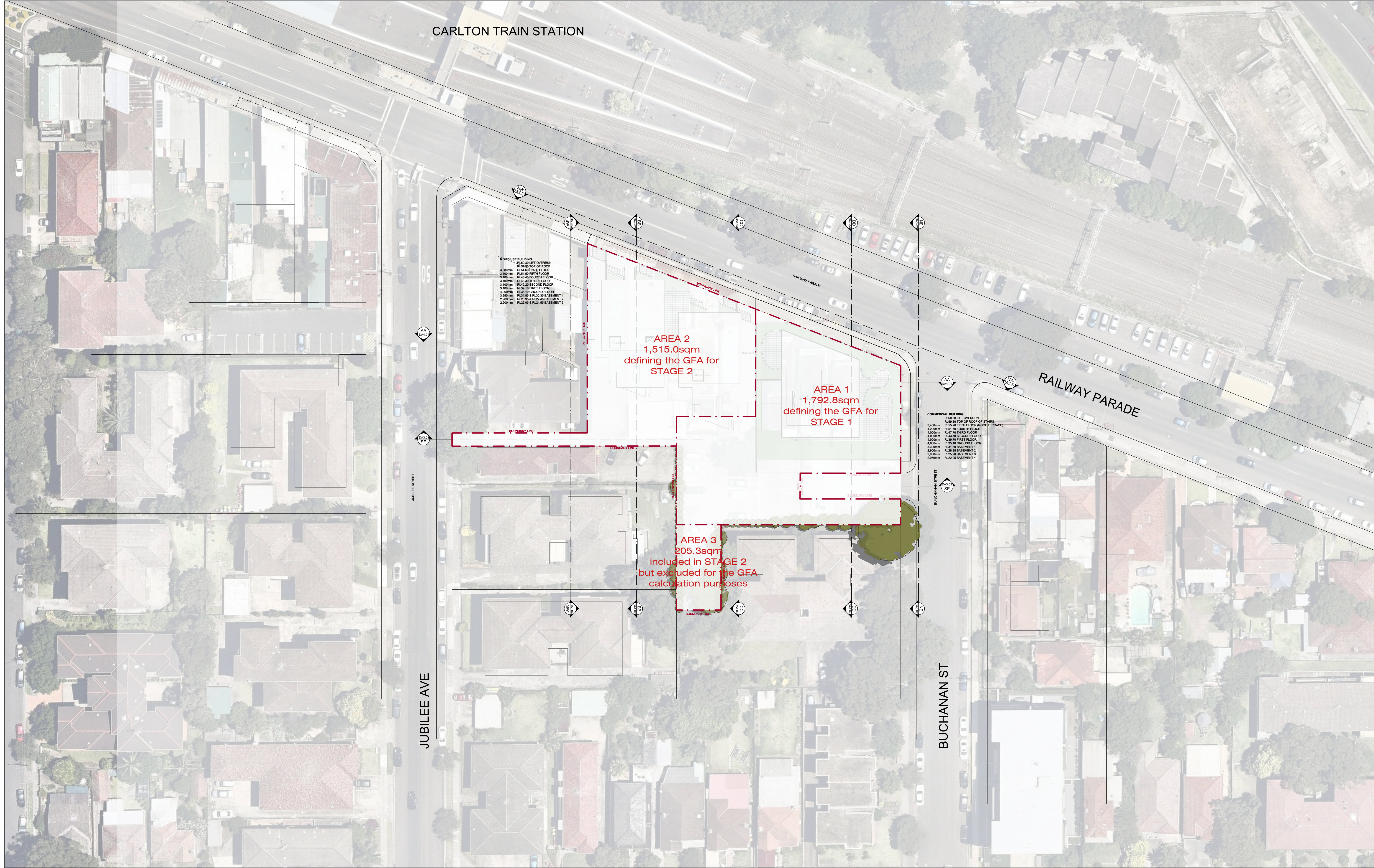


Proposed Site

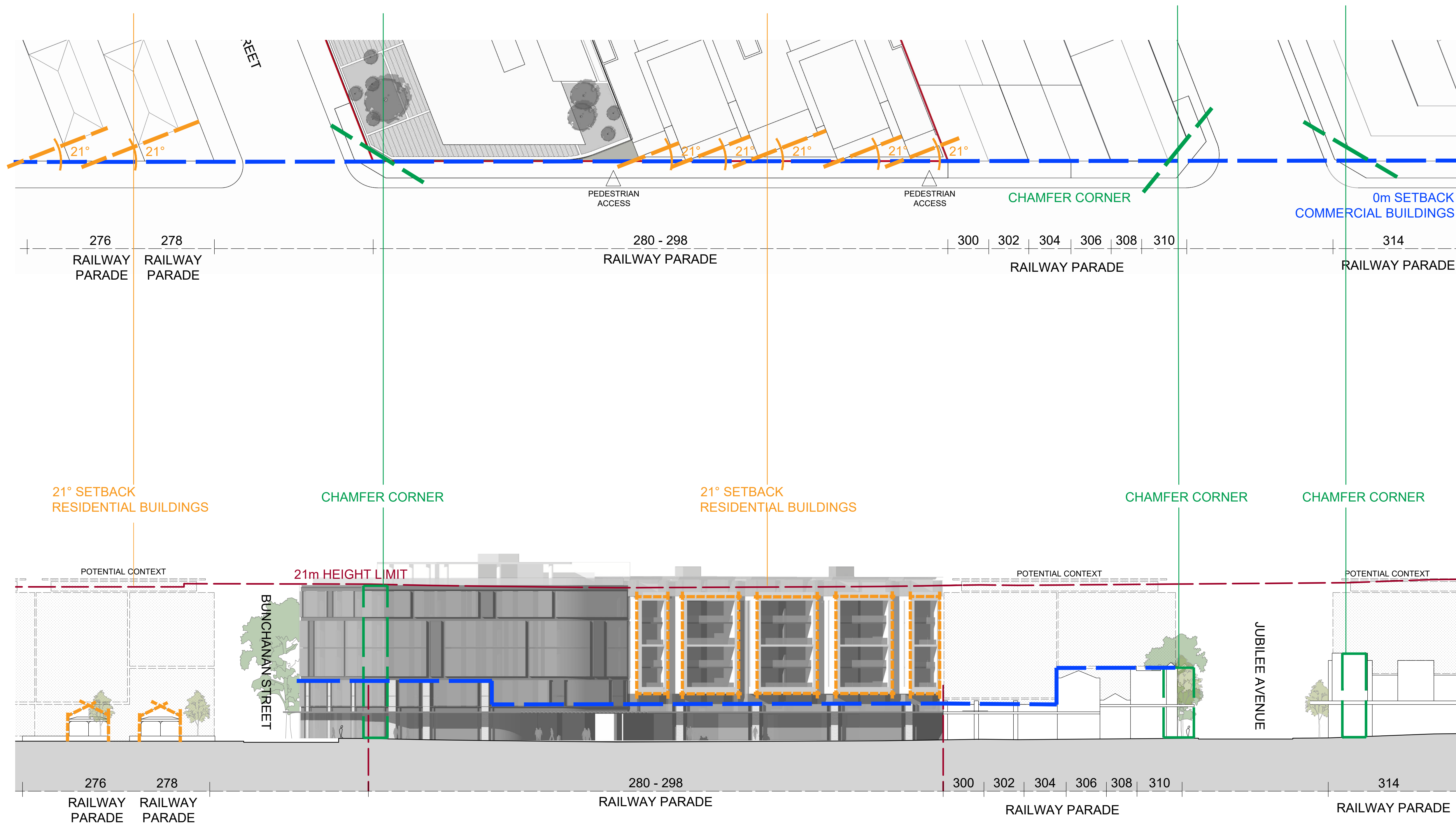
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	A	2019.04.24	PRE-DA	PS								
	B	2019.09.13	FOR COORDINATION	CS								
					PROJECT 280-298 Railway Parade, Carlton, NSW				SCALE NTS	DATE 10.04.2019	DRAWN CS	CHECKED PS
									JOB 18077	DRAWING DA1.01		REVISION B



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	A	2019.04.24	PRE-DA	PS			PROJECT 280-298 Railway Parade, Carlton, NSW		SCALE 1:400@A1 1:800@A1	DATE 15.04.2019	DRAWN CS	CHECKED PS
	B	2019.09.13	FOR COORDINATION	CS								
	C	2019.10.14	FOR COORDINATION	CS								
								JOB 18077	DRAWING DA1.02		REVISION C	



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	C	2019.03.07	PRE-DA	PS								
	D	2019.04.24	PRE-DA	PS								
	E	2019.09.13	FOR COORDINATION	CS								
	F	2019.09.24	FOR COORDINATION	CS								
	G	2019.11.04	FOR COORDINATION	AS								
	H	2020.01.13	FOR COORDINATION	AS								
	I	2020.07.21	POST DA SUBMISSION AMENDMENTS	PS								
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PROJECT		280-298 Railway Parade, Carlton, NSW		SCALE 1:400@A1 1:800@A3		DATE 11.02.2019		DRAWN AS		CHECKED PS		
JOB		18077		DRAWING DA 1.03		REVISION I						



LEGEND

STREET FRONTAGE

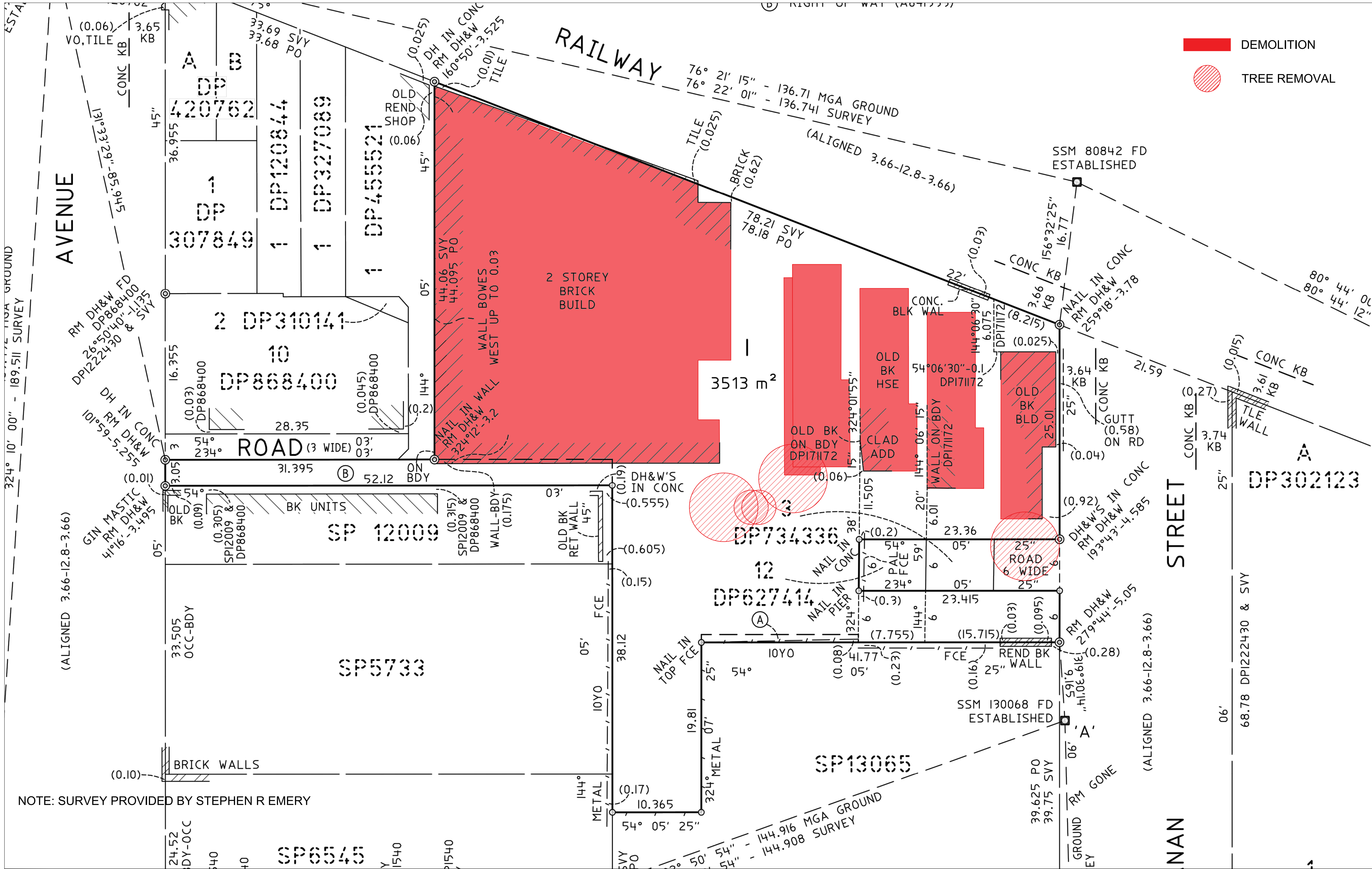
The commercial frontage facing Railway Parade is proposed with 0 setback in line with the existing adjoining commercial buildings. The articulation of the lower component of the proposed facade reflects the 1&2 storey character of the area by using materials (facing bricks) & elements (colour) which stretched between the ground & first floor

CHAMFER CORNERS

The prominent corner of the commercial building has been chamfered in line with the character of the buildings at the corner of Railway Parade and Jubilee Ave

RESIDENTIAL SETBACKS

The front facade of the residential components has been setback from the lower commercial component & rotated of 21° in line with the existing residential pattern along Railway Parade



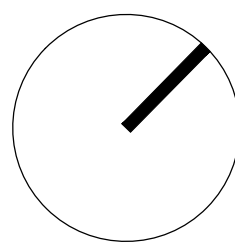
NOTE: SURVEY PROVIDED BY STEPHEN R EMERY

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B	2019.11.04	FOR COORDINATION	AS

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CLIENT willowfrank		DEMOLITION PLAN		
PROJECT 280-298 Railway Parade, Carlton, NSW		SCALE 1:200@A1 1:400@A3	DATE 24.09.2019	DRAWN AS
JOB 18077		DRAWING DA1.06		CHECKED PS
				REVISION B

HERITAGE ITEM

SITE

JUBILEE AVENUE

PUBLIC PLAZA

CARLTON TRAIN STATION

RAILWAY PARADE



RAILWAY PARADE STREET PANORAMA



1. LINEAR STREET FRONTAGE
The height of the buildings in the center varies - although the center retains predominantly single storey streetscape (...)
- Section D2, Carlton North, Kogarah DCP 2013

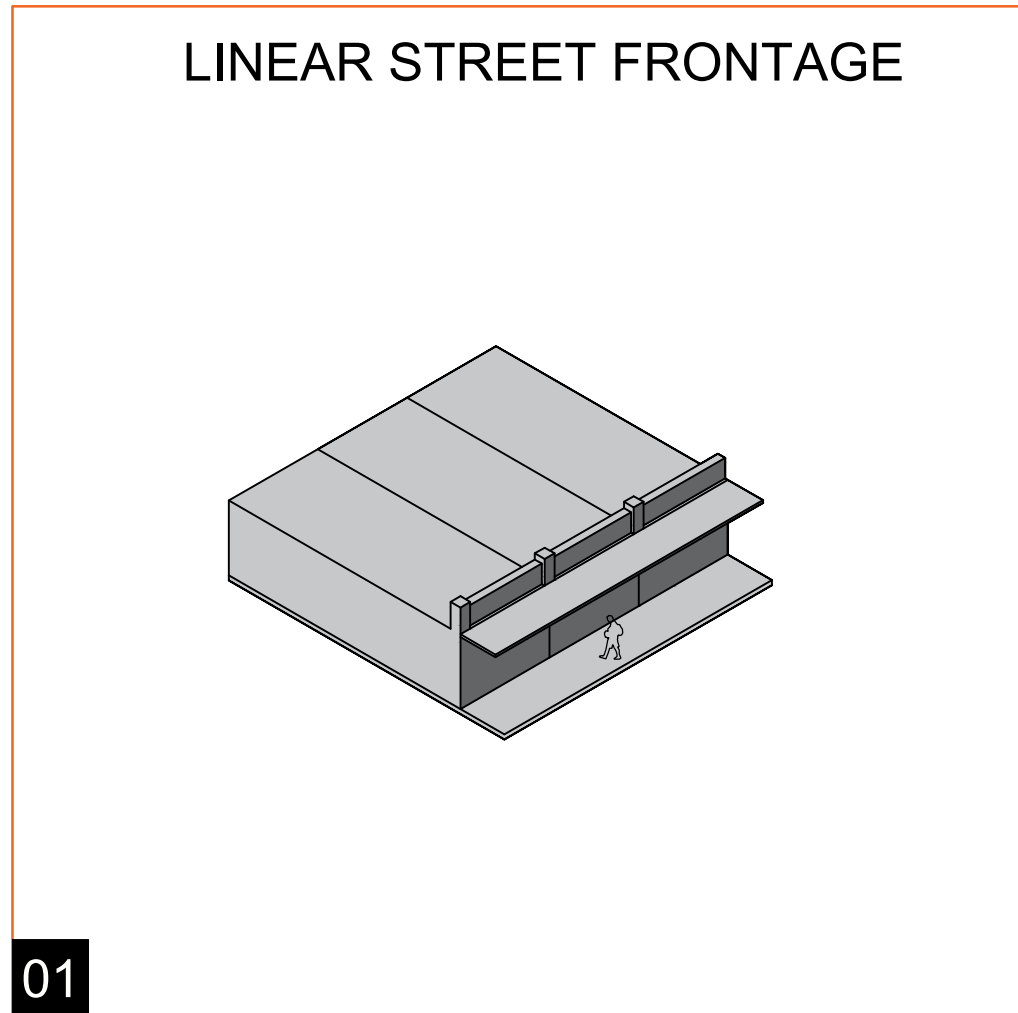


2. STREET CORNER
The Royal Hotel on the corner of of Railway Pde and Jubile Ave is identified as a Heritage Item.
- Section D2, Carlton North, Kogarah DCP 2013

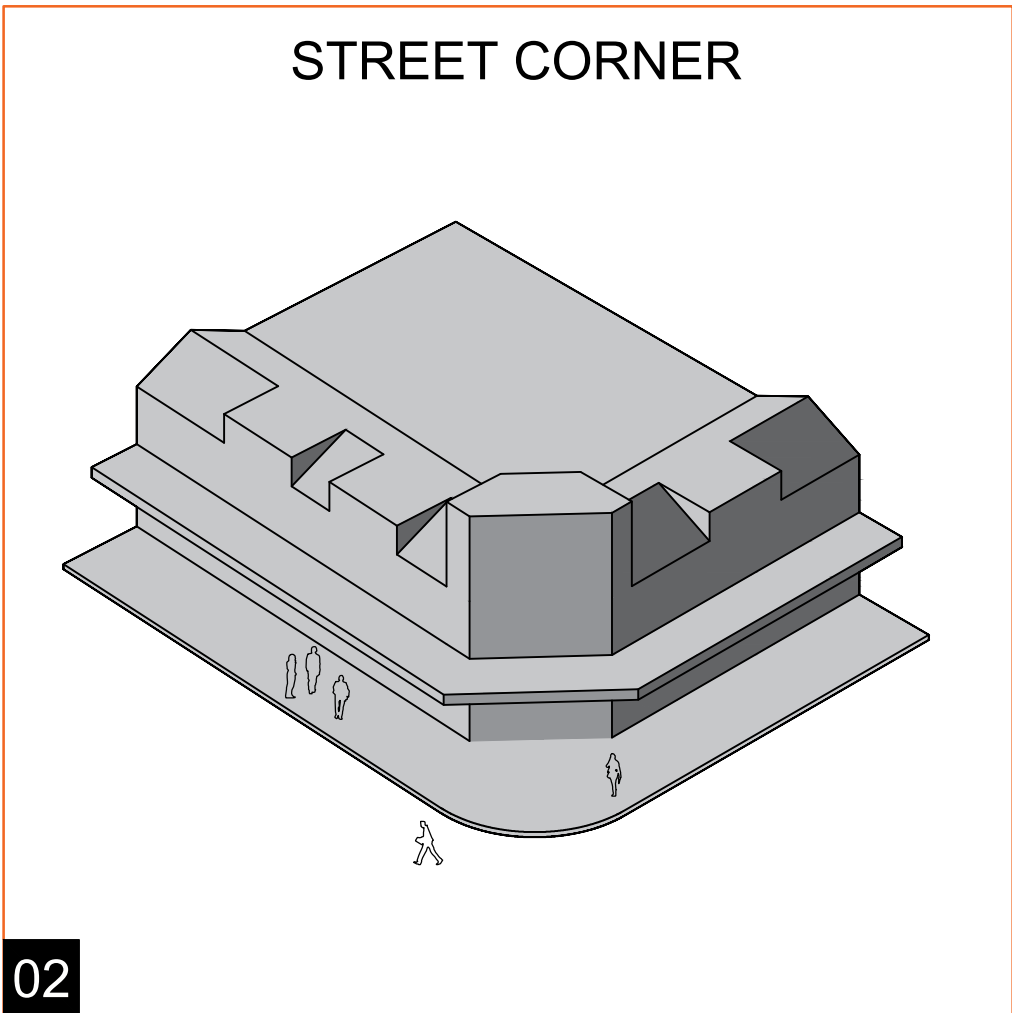


3. PUBLIC PLAZA
The small public plaza on the corner of Winchester contributes positively to pedestrian scale and character of the locality.
- Section D2, Carlton North, Kogarah DCP 2013

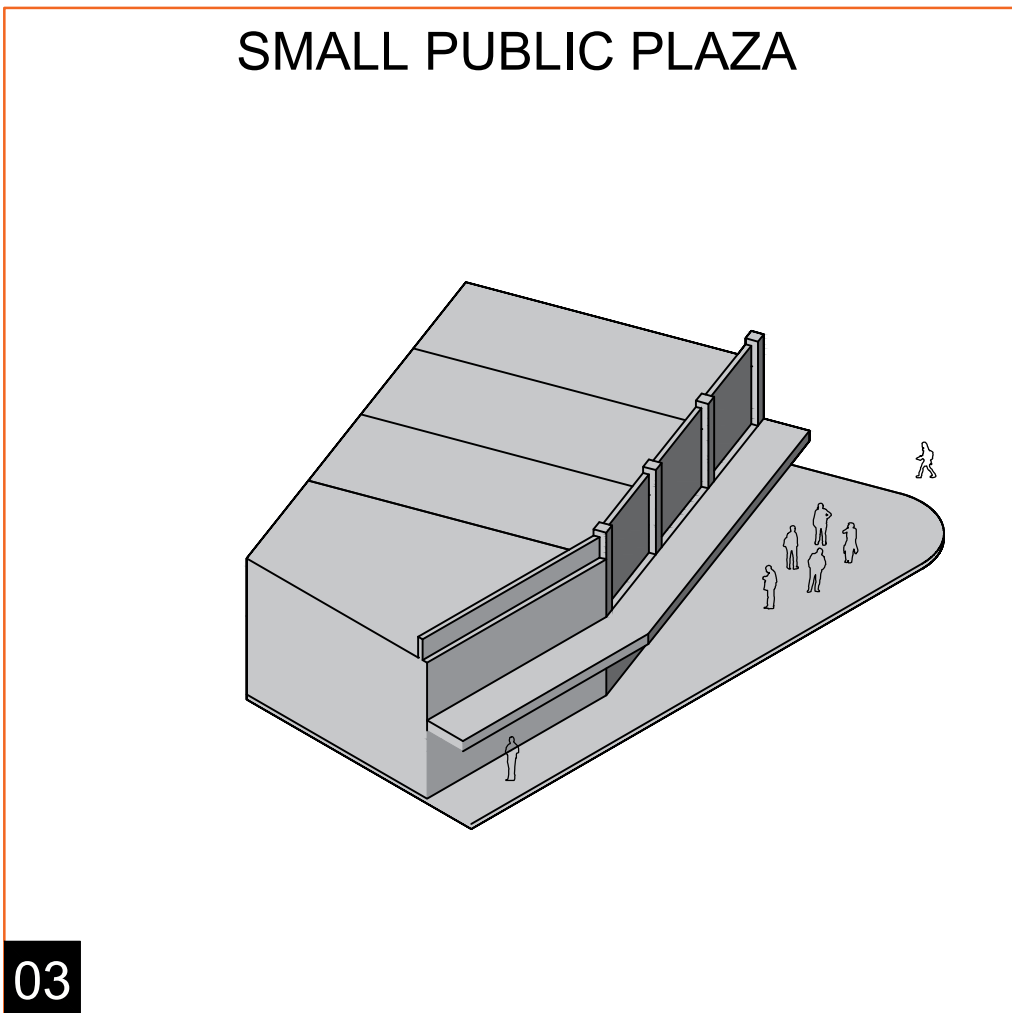
LINEAR STREET FRONTAGE



STREET CORNER



SMALL PUBLIC PLAZA



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CLIENT
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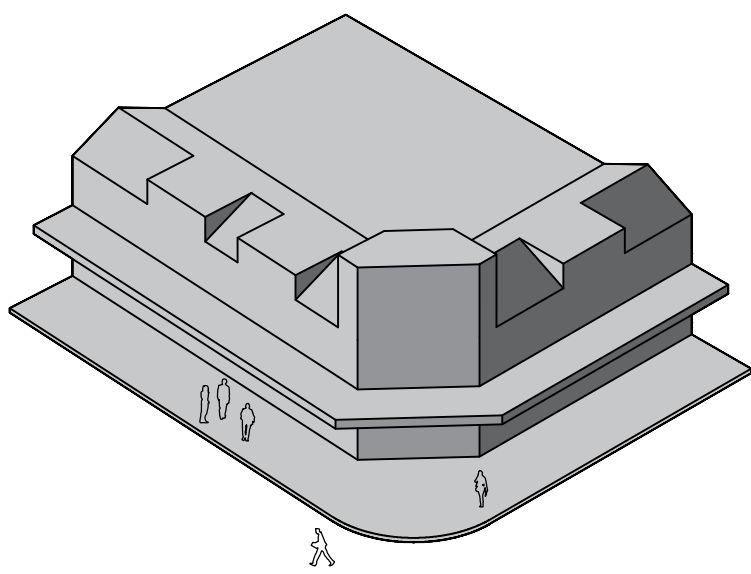
PROJECT
280-298 Railway Parade, Carlton, NSW

LOCAL CHARACTER ANALYSIS

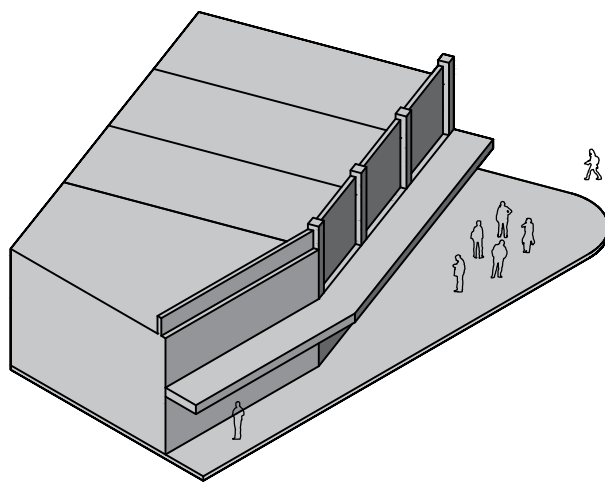
SCALE NTS	DATE	DRAWN CS	CHECKED PS
JOB 18077	10.04.2019	DRAWING DA1.07	REVISION B

LOCAL CONTEXT

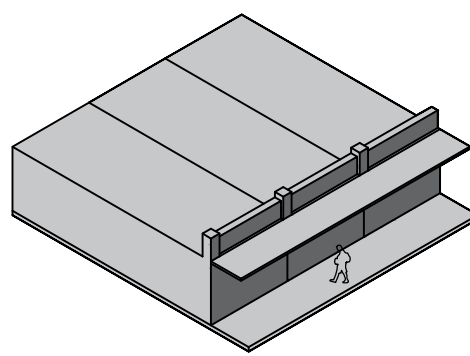
STREET CORNER



SMALL PUBLIC PLAZA

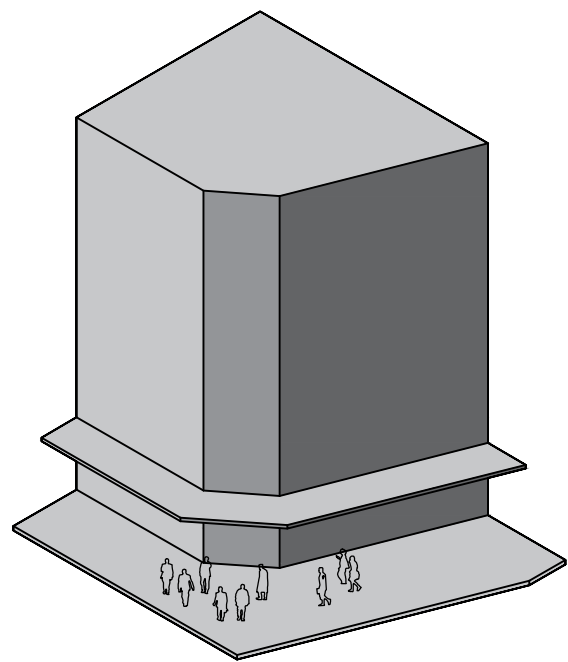


LINEAR STREET FRONTAGE

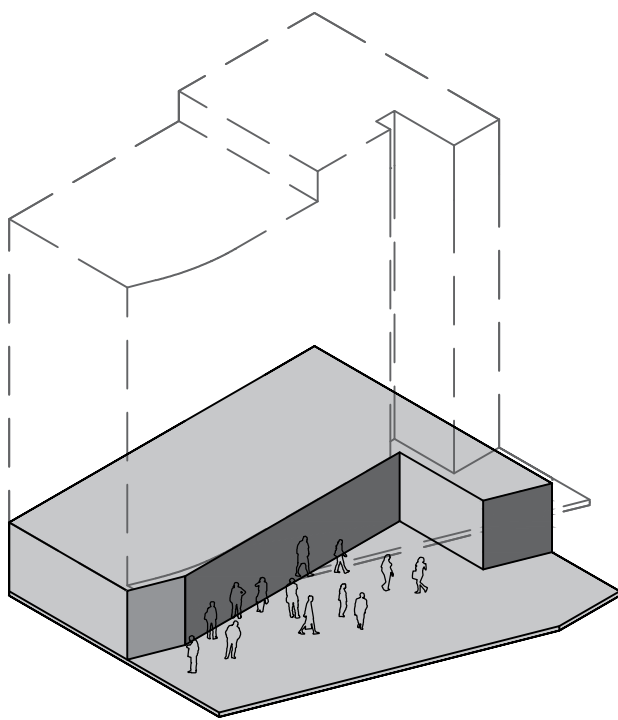


PROPOSED DEVELOPMENT

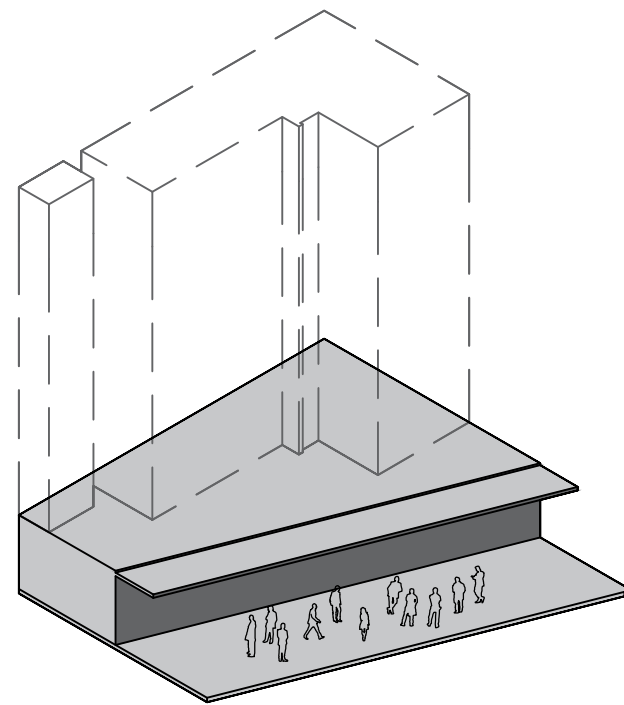
STREET CORNER



SMALL PUBLIC PLAZA



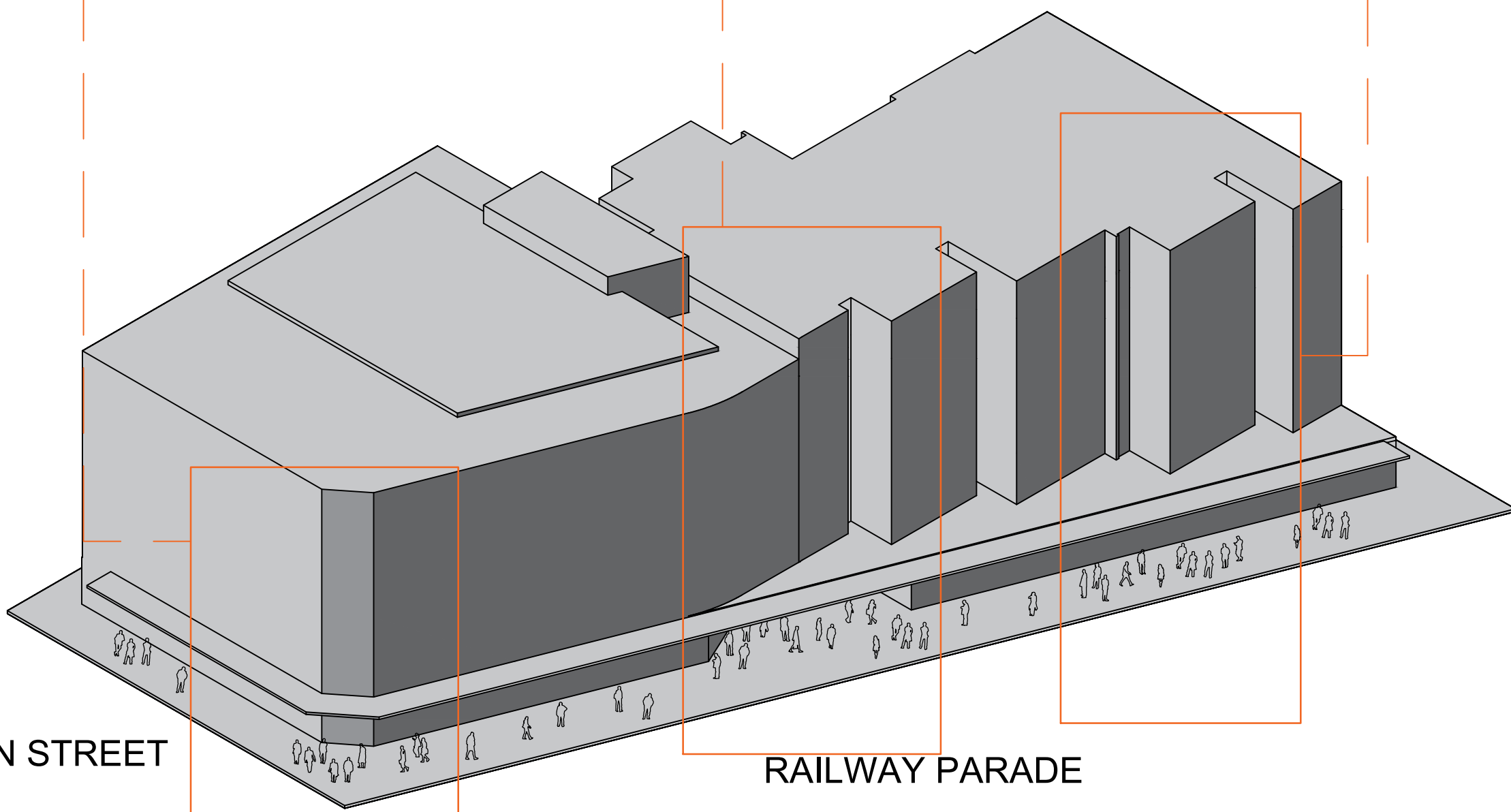
LINEAR STREET FRONTAGE



PROPOSED DEVELOPMENT

BUCHANAN STREET

RAILWAY PARADE



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REVISION	DATE	DESCRIPTION	BY
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B	2019.09.13	FOR COORDINATION	CS
C	2019.10.14	FOR COORDINATION	CS

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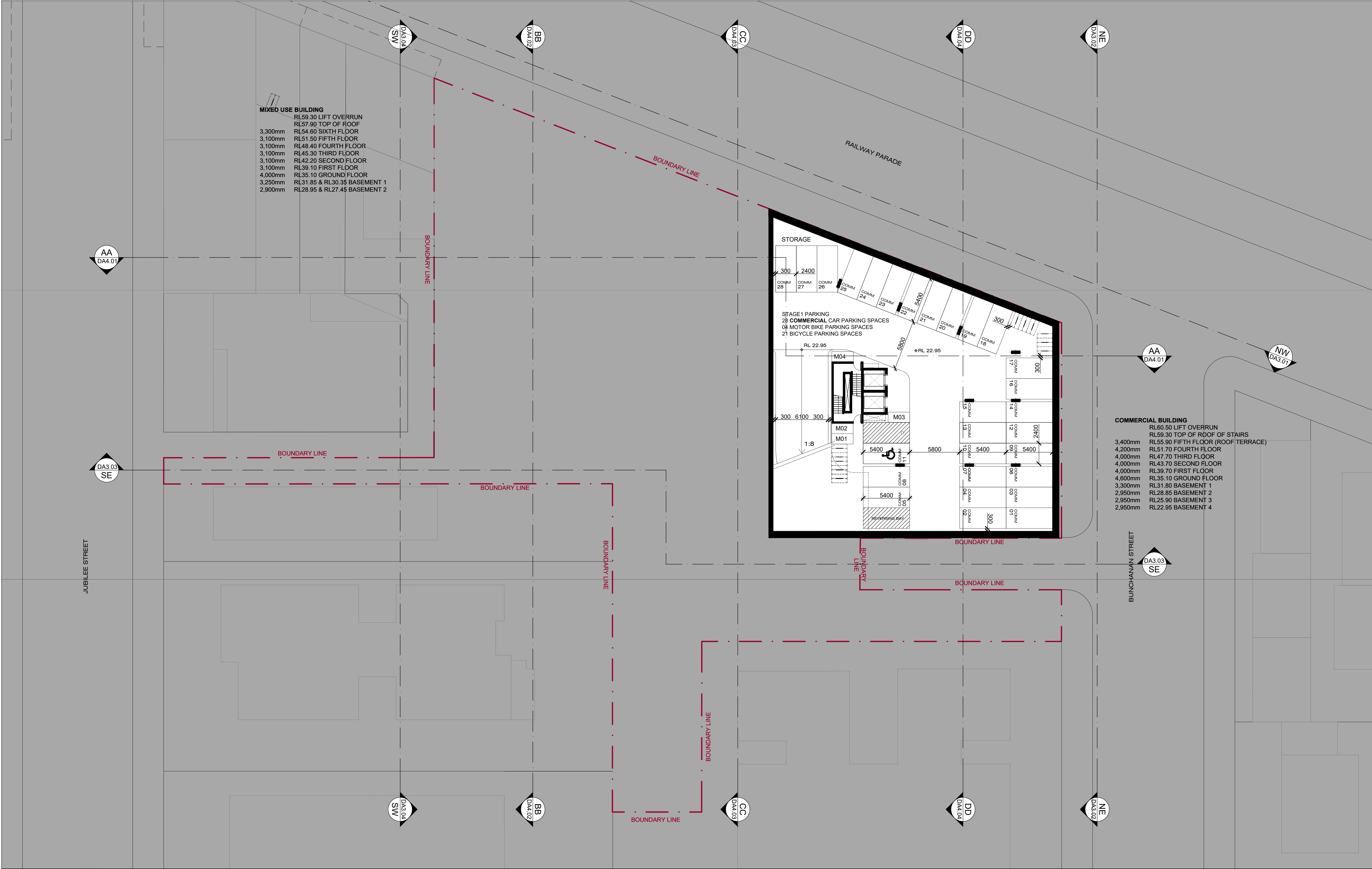
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PROJECT
280-298 Railway Parade, Carlton, NSW

LOCAL CHARACTER APPLIED
TO THE DEVELOPMENT

SCALE NTS	DATE 10.04.2019	DRAWN CS	CHECKED PS
JOB 18077	DRAWING DA1.08	REVISION C	



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REVISION	DATE	DESCRIPTION	BY
A	2019.02.01	PRELIMINARY	CS
B	2019.02.10	PRELIMINARY	CS
C	2019.03.07	PRE-DA	PS
E	2019.05.15	PRELIMINARY	CS
F	2019.05.28	PRELIMINARY	CS
G	2019.08.19	PRELIMINARY FOR COORDINATION	AS
H	2019.09.06	PRELIMINARY	CS
I	2019.09.13	FOR COORDINATION	CS
J	2019.09.20	FOR COORDINATION	CS
K	2019.09.24	FOR COORDINATION	CS

L	2019.10.05	FOR COORDINATION	CS
M	2019.11.04	FOR COORDINATION	AS
N	2020.07.17	POST DA SUBMISSION AMENDMENTS	PS

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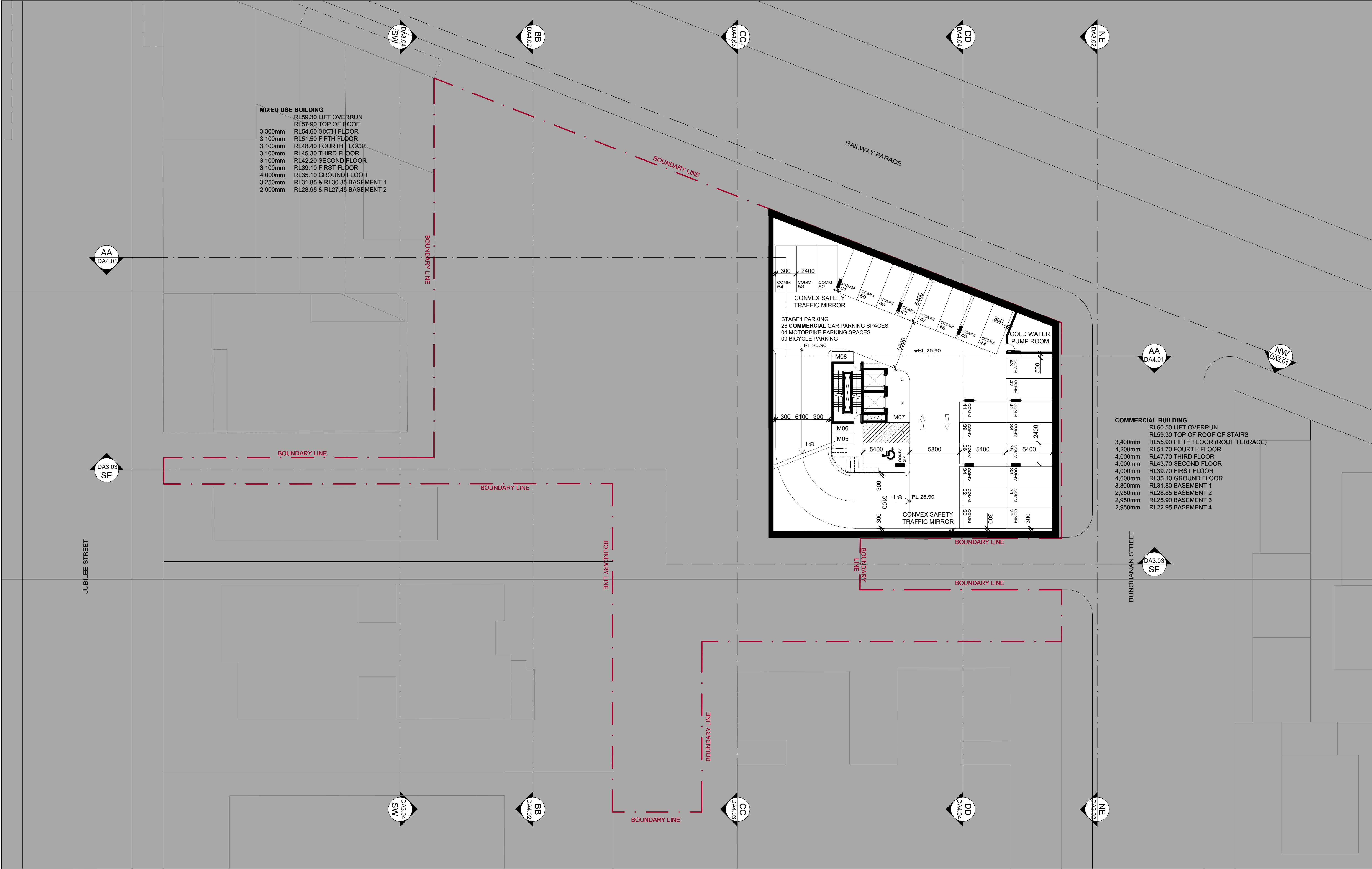
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PROJECT

280-298 Railway Parade, Carlton, NSW

SCALE 1:200@A1 1:400@A3	DATE 11.02.2019	DRAWN AS	CHECKED PS
JOB 18077	DRAWING DA2.22	REVISION N	



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REVISION	DATE	DESCRIPTION	BY
A	2019.02.01	PRELIMINARY	CS
B	2019.02.10	PRELIMINARY	CS
C	2019.03.07	PRE-DA	PS
E	2019.05.15	PRELIMINARY	CS
F	2019.05.28	PRELIMINARY	CS
G	2019.08.19	PRELIMINARY FOR COORDINATION	AS
H	2019.09.06	PRELIMINARY	CS
I	2019.09.13	FOR COORDINATION	CS
J	2019.09.20	FOR COORDINATION	CS
K	2019.09.24	FOR COORDINATION	CS

L	2019.10.05	FOR COORDINATION	CS
M	2019.11.04	FOR COORDINATION	AS
N	2020.07.17	POST DA SUBMISSION AMENDMENTS	PS

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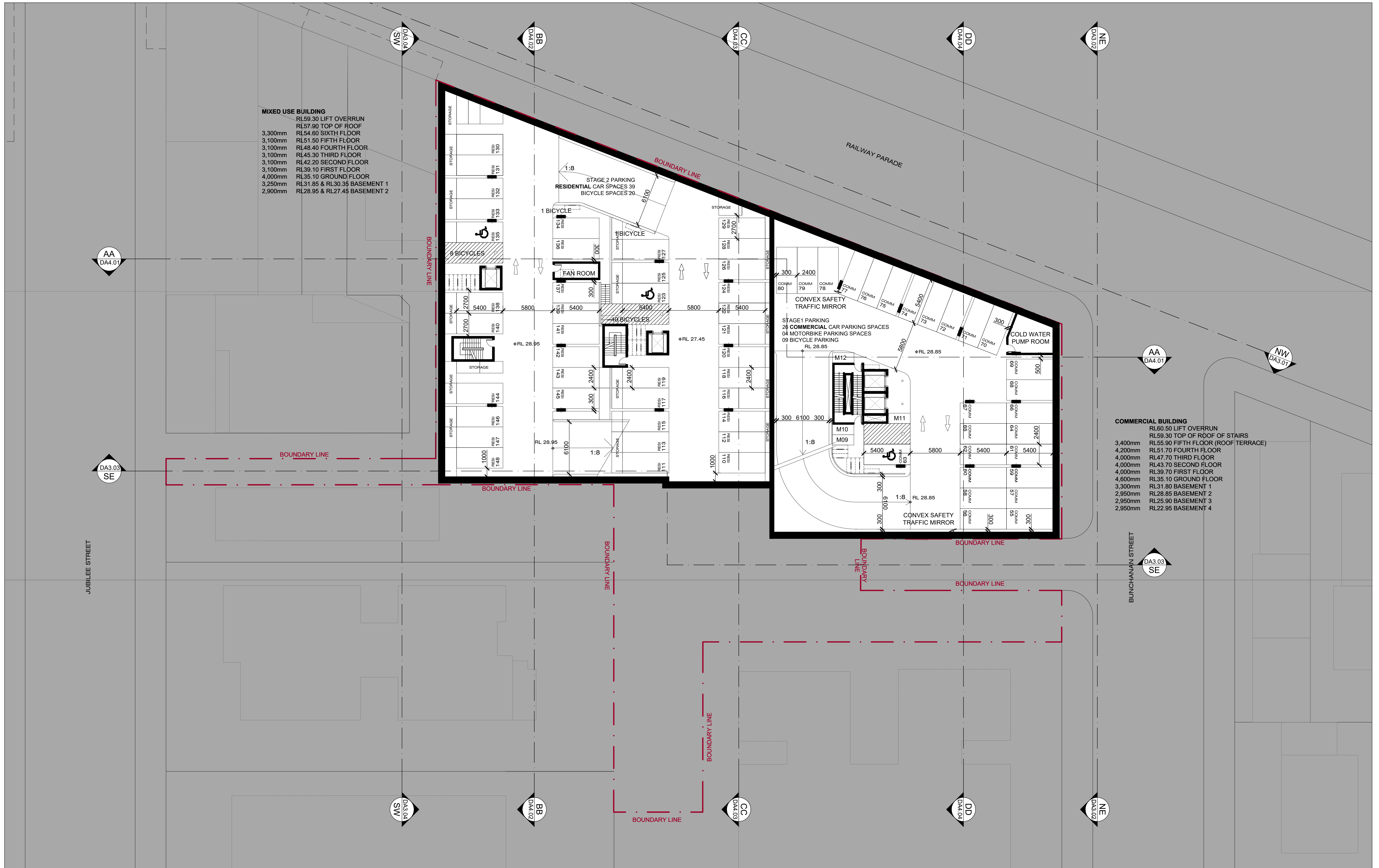
PROJECT

280-298 Railway Parade, Carlton, NSW

BASEMENT 3
STAGE 1&2

SCALE 1:200@A1 1:400@A3	DATE 11.02.2019	DRAWN AS	CHECKED PS
JOB 18077	DRAWING DA2.23	REVISION N	

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REVISION	DATE	DESCRIPTION	BY
A	2019.02.01	PRELIMINARY	CS
B	2019.02.10	PRELIMINARY	CS
C	2019.03.07	PRE-DA	PS
E	2019.05.15	PRELIMINARY	CS
F	2019.05.28	PRELIMINARY	CS
G	2019.08.19	PRELIMINARY FOR COORDINATION	AS
H	2019.09.13	FOR COORDINATION	CS
I	2019.09.20	FOR COORDINATION	CS
J	2019.09.24	FOR COORDINATION	CS
K	2019.10.05	FOR COORDINATION	CS

	L	2019.11.04	FOR COORDINATION	CS
	M	2019.11.13	FOR COORDINATION	AS
	N	2020.07.17	POST DA SUBMISSION AMENDMENTS	PS

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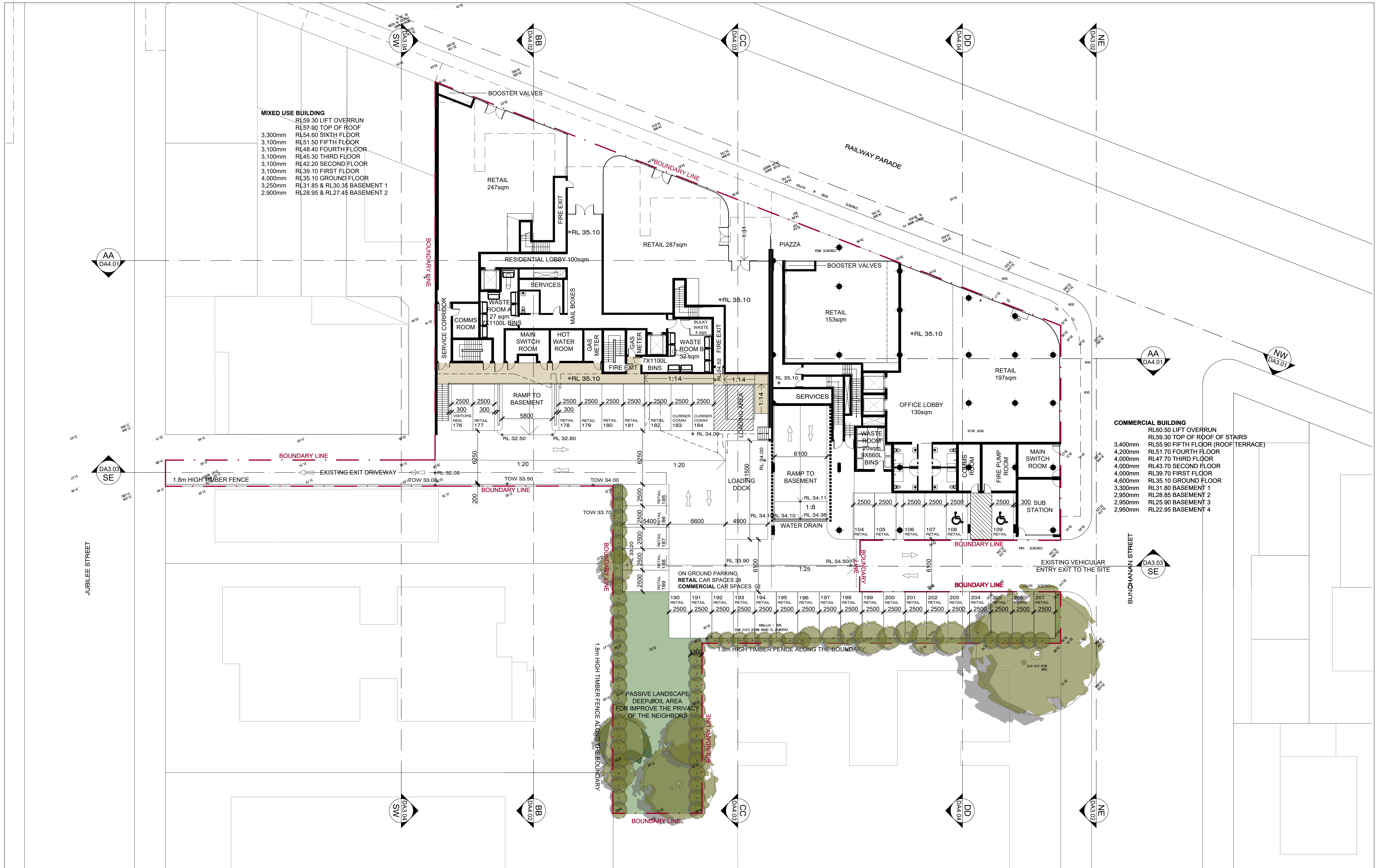
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PROJECT

280-298 Railway Parade, Carlton, NSW

BASEMENT 2 STAGE 1&2		SCALE	DATE	DRAWN	CHECKED
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JOB	DRAWING			REVISION	
18077	DA2.24			N	



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REVISION	DATE	DESCRIPTION	BY
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B	2019.02.10	PRELIMINARY	CS
C	2019.03.07	PRE-DA	PS
E	2019.05.15	PRELIMINARY	CS
F	2019.05.28	PRELIMINARY	CS
G	2019.08.27	PRELIMINARY	AS
H	2019.09.06	PRELIMINARY	CS
I	2019.09.13	FOR COORDINATION	CS
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K	2019.09.20	FOR COORDINATION	CS

L	2019.09.24	FOR COORDINATION	CS
M	2019.10.05	FOR COORDINATION	CS
N	2019.11.04	FOR COORDINATION	AS
O	2019.11.14	FOR COORDINATION	AS
P	2019.11.26	FOR COORDINATION	AS
Q	2020.07.10	POST DA LODGMENT AMENDMENTS	PS
R	2020.07.17	POST DA SUBMISSION AMENDMENTS	PS

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PROJECT

280-298 Railway Parade, Carlton, NSW

GROUND FLOOR

STAGE 1&2

SCALE	DATE	DRAWN	CHECKED
1:200@A1	11.02.2019	AS	PS
1:400@A3			
JOB	DRAWING	REVISION	
18077	DA2.26	R	



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B	2019.02.10	PRELIMINARY	CS
C	2019.03.07	PRE-DA	PS
D	2019.05.28	PRELIMINARY	CS
E	2019.08.27	PRELIMINARY	AS
F	2019.09.06	PRELIMINARY	CS
G	2019.09.13	FOR COORDINATION	CS
H	2019.09.24	FOR COORDINATION	CS
I	2019.10.05	FOR COORDINATION	CS
J	2019.11.04	FOR COORDINATION	AS

K	2019.11.14	FOR COORDINATION	AS
L	2020.07.17	POST DA SUBMISSION AMENDMENTS	PS
M	2020.08.18	POST SUBMISSION AMENDMENTS	PS

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PROJECT

280-298 Railway Parade, Carlton, NSW

LEVEL 01
STAGE 1&2

SCALE
1:200@A1
1:400@A3

DATE
11.02.2019

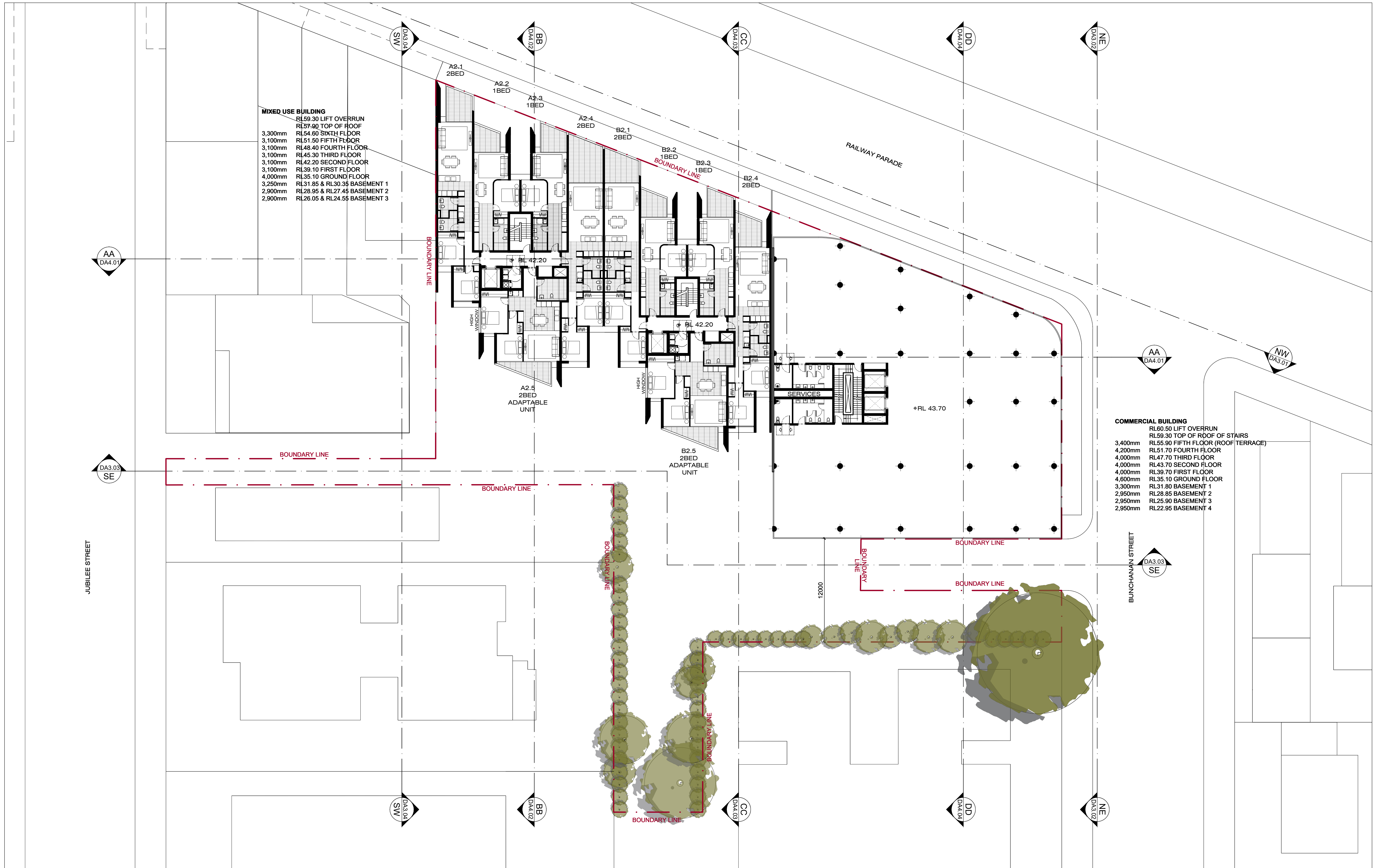
DRAWN
AS

CHECKED
PS

JOB
18077

DRAWING
DA2.27

REVISION
M



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REVISION	DATE	DESCRIPTION	BY
A	2019.02.01	PRELIMINARY	CS
B	2019.02.10	PRELIMINARY	CS
C	2019.03.07	PRE-DA	CS
D	2019.05.28	PRELIMINARY	CS
E	2019.08.27	PRELIMINARY FOR COORDINATION	AS
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H	2019.10.05	FOR COORDINATION	CS
I	2019.10.14	FOR COORDINATION	CS
J	2019.11.04	FOR COORDINATION	AS

K	2019.11.14	FOR COORDINATION	AS
L	2020.07.17	POST DA SUBMISSION AMENDMENTS	PS
M	2020.08.18	POST SUBMISSION AMENDMENTS	PS

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LEVEL 02
STAGE 1&2

SCALE 1:200@A1 1:400@A3	DATE 11.02.2019	DRAWN AS	CHECKED PS
JOB 18077	DRAWING DA2.28	REVISION M	



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A	2019.02.01	PRELIMINARY	CS
B	2019.02.10	PRELIMINARY	CS
C	2019.03.07	PRE-DA	CS
D	2019.08.27	PRELIMINARY FOR COORDINATION	AS
E	2019.09.13	FOR COORDINATION	CS
F	2019.09.24	FOR COORDINATION	CS
G	2019.10.05	FOR COORDINATION	CS
H	2019.11.04	FOR COORDINATION	AS
I	2019.11.14	FOR COORDINATION	AS
J	2020.07.17	POST DA SUBMISSION AMENDMENTS	PS

K	2020.08.18	POST SUBMISSION AMENDMENTS	PS
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PROJECT

280-298 Railway Parade, Carlton, NSW

LEVEL 03
STAGE 1&2

SCALE	DATE	DRAWN	CHECKED
1:200@A1 1:400@A3	11.02.2019	AS	PS

JOB	DRAWING	REVISION
18077	DA2.29	K



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REVISION	DATE	DESCRIPTION	BY
A	2019.02.01	PRELIMINARY	CS
B	2019.02.10	PRELIMINARY	CS
C	2019.03.07	PRE-DA	PS
D	2019.05.28	PRELIMINARY	CS
E	2019.08.27	PRELIMINARY FOR COORDINATION	AS
F	2019.09.13	FOR COORDINATION	CS
G	2019.09.24	FOR COORDINATION	CS
H	2019.10.05	FOR COORDINATION	CS
I	2019.11.04	FOR COORDINATION	AS
J	2019.11.13	FOR COORDINATION	AS

	K	2020.07.05	FOR COORDINATION	PS
	L	2020.07.17	POST DA SUBMISSION AMENDMENTS	PS
	M	2020.08.18	POST SUBMISSION AMENDMENTS	PS

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280-298 Railway Parade, Carlton, NSW

LEVEL 04
STAGE 1&2

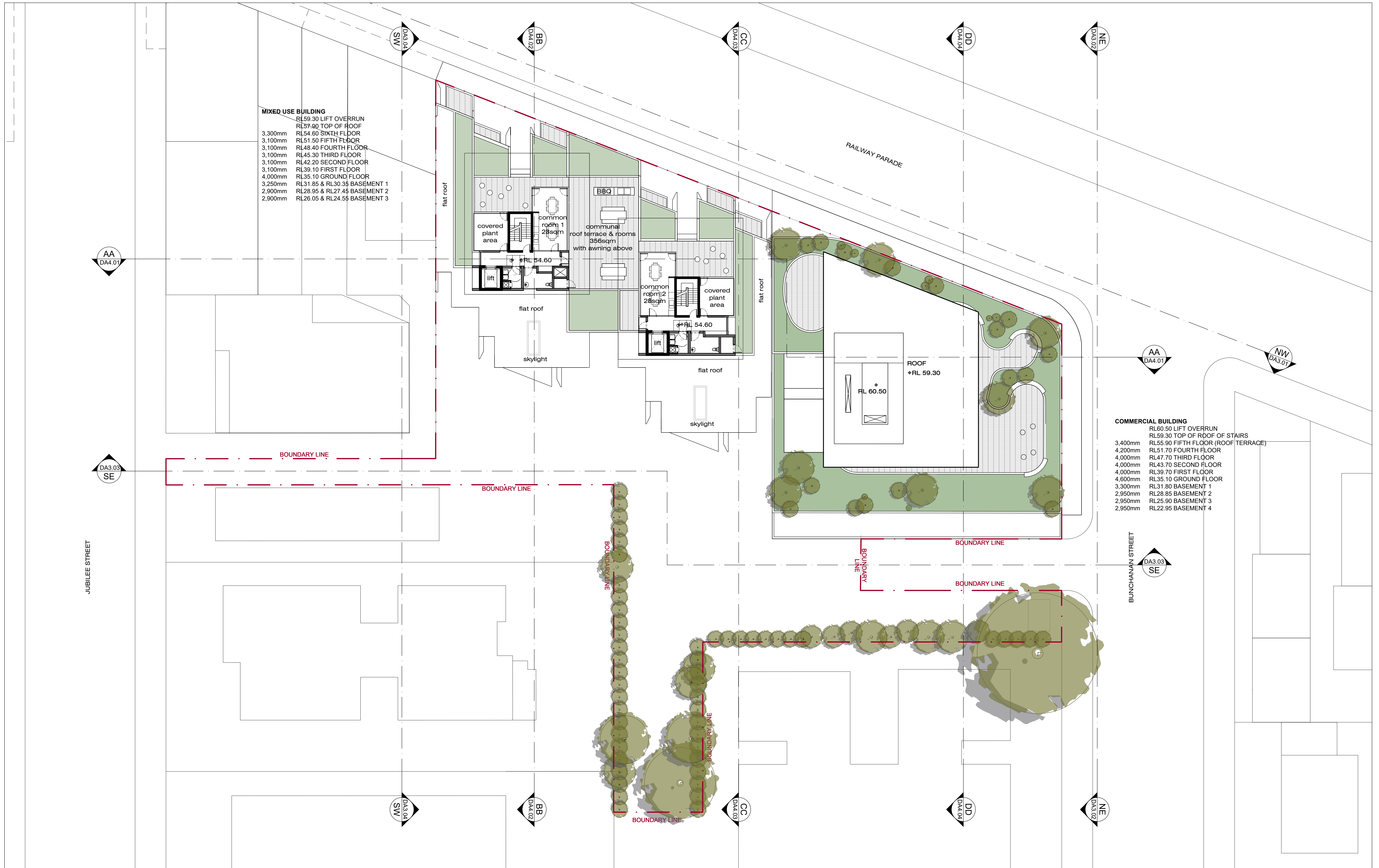
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JOB	DRAWING	REVISION
18077	DA2.30	M

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	A	2019.02.01	PRELIMINARY	CS	L	2020.08.18	POST SUBMISSION AMENDMENTS	PS						
	B	2019.02.10	PRELIMINARY	CS										
	C	2019.03.07	PRE-DA	PS										
	D	2019.05.28	PRELIMINARY	CS										
	E	2019.08.27	PRELIMINARY	AS										
	F	2019.09.13	FOR COORDINATION	CS										
	G	2019.09.24	FOR COORDINATION	CS										
	H	2019.10.05	FOR COORDINATION	CS										
	I	2019.11.04	FOR COORDINATION	AS										
J	2019.11.14	FOR COORDINATION	AS											
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<div>PROJECT</div> <div>280-298 Railway Parade, Carlton, NSW</div>						<div>SCALE</div> <div>1:200@A1 1:400@A3</div>		<div>DATE</div> <div>11.02.2019</div>	<div>DRAWN</div> <div>AS</div>	<div>CHECKED</div> <div>PS</div>				
<div>JOB</div> <div>18077</div>						<div>DRAWING</div> <div>DA2.31</div>		<div>REVISION</div> <div>L</div>						



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A	2019.02.01	PRELIMINARY	CS
B	2019.02.10	PRELIMINARY	CS
C	2019.03.07	PRE-DA	PS
D	2019.08.27	PRELIMINARY	AS
E	2019.09.13	FOR COORDINATION	CS
F	2019.09.24	FOR COORDINATION	CS
G	2019.10.05	FOR COORDINATION	CS
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L	2020.07.12	POST DA LODGMENT AMENDMENTS	PS

M	2020.07.17	POST DA SUBMISSION AMENDMENTS	PS
N	2020.08.18	POST SUBMISSION AMENDMENTS	PS

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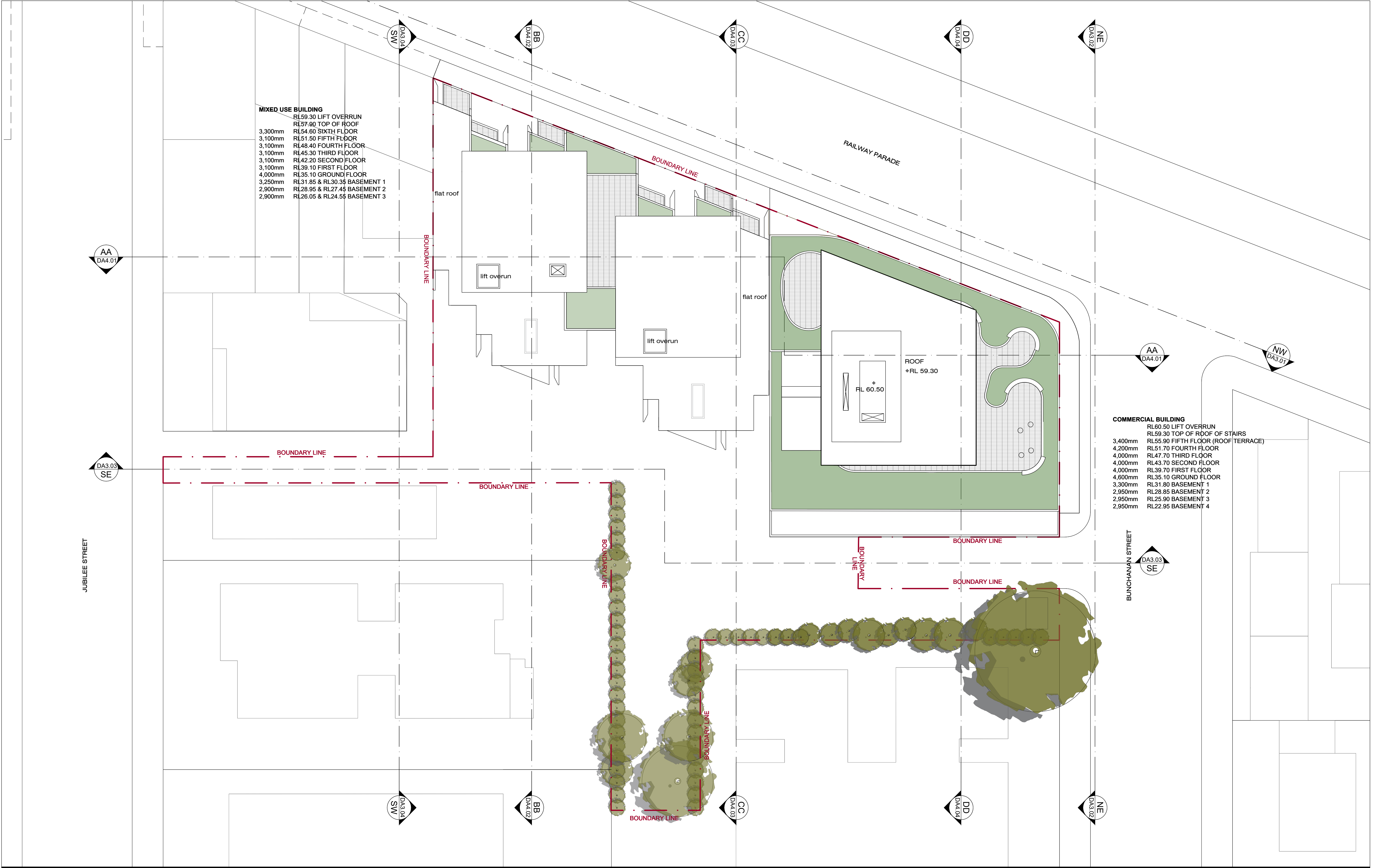
PROJECT

280-298 Railway Parade, Carlton, NSW

COMMUNAL ROOF
STAGE 1&2

SCALE	DATE	DRAWN	CHECKED
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JOB	DRAWING	REVISION
18077	DA2.32	N



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B	2019.02.10	PRELIMINARY	CS
C	2019.03.07	PRE-DA	CS
D	2019.09.13	FOR COORDINATION	CS
E	2019.09.24	FOR COORDINATION	CS
F	2019.10.05	FOR COORDINATION	CS
G	2019.11.04	FOR COORDINATION	AS
H	2020.07.12	POST DA LODGMENT AMENDMENTS	PS
J	2020.07.17	POST DA SUBMISSION AMENDMENTS	PS

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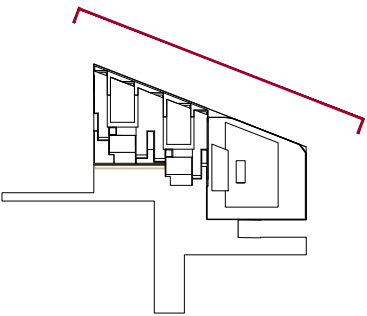
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PROJECT			
280-298 Railway Parade, Carlton, NSW			
SCALE 1:200@A1 1:400@A3	DATE 11.02.2019	DRAWN AS	CHECKED PS
JOB 18077	DRAWING DA2.33	REVISION J	

ROOF PLAN
STAGE 1&2

- A - ALUMINIUM WINDOWS IN MATT BLACK
- B - STEEL BEAM MATT BLACK
- C - WHITE PANELLING
- D - BRICKS. COLOUR AS SHOWN
- E - TIMBER LOOK ALUMINIUM CLADDING
- F - WHITE RENDERED AND PAINTED WALL
- G - GREY RENDERED AND PAINTED WALL
- H - ALUMINIUM WINDOWS IN MATT BLACK
- I - STEEL FRAMED AWNING MATT DARK GREY COLOUR
- J - DARK GREY ALUMINIUM VERTICAL LOUVERS
- K - DARK GREY ALUMINIUM HORIZONTAL LOUVERS
- L - DARK GREY BRICKS



COMMERCIAL BUILDING

3,400mm	RL60.50 LIFT OVERRUN
4,200mm	RL59.30 TOP OF ROOF OF STAIRS
4,200mm	RL55.90 FIFTH FLOOR ROOF TERRACE
4,000mm	RL51.70 FOURTH FLOOR
4,000mm	RL47.70 THIRD FLOOR
4,000mm	RL43.70 SECOND FLOOR
4,000mm	RL39.70 FIRST FLOOR
4,600mm	RL35.10 GROUND FLOOR
3,300mm	RL31.80 BASEMENT 1
2,950mm	RL28.85 BASEMENT 2
2,950mm	RL25.90 BASEMENT 3

MIXED USE BUILDING

3,300mm	RL59.20 LIFT OVERRUN
3,300mm	RL57.90 TOP OF ROOF
3,100mm	RL54.60 SIXTH FLOOR
3,100mm	RL51.50 FIFTH FLOOR
3,100mm	RL48.40 FOURTH FLOOR
3,100mm	RL45.30 THIRD FLOOR
3,100mm	RL42.20 SECOND FLOOR
3,100mm	RL39.10 FIRST FLOOR
4,000mm	RL35.10 GROUND FLOOR
3,250mm	RL31.85 & RL30.35 BASEMENT 1
2,900mm	RL28.95 & RL27.45 BASEMENT 2
2,900mm	RL26.05 & RL24.55 BASEMENT 3

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REVISION	DATE	DESCRIPTION	BY	K	2020.08.10	POST DA SUBMISSION AMENDMENTS	PS
A	2019.02.01	PRELIMINARY	CS	L	2020.08.18	POST SUBMISSION AMENDMENTS	PS
B	2019.02.10	PRELIMINARY	CS				
C	2019.03.07	PRE-DA	PS				
D	2019.05.08	PRE-DA	CS				
E	2019.05.15	FOR COORDINATION	CS				
F	2019.09.03	PRELIMINARY FOR COORDINATION	AS				
G	2019.09.13	FOR COORDINATION	CS				
H	2019.09.24	FOR COORDINATION	CS				
I	2019.11.14	FOR COORDINATION	AS				
J	2019.11.15	FOR COORDINATION	AS				

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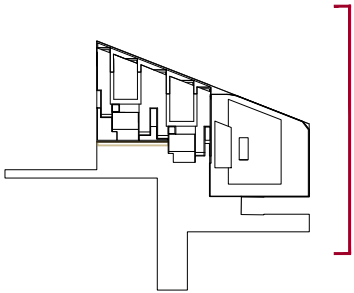
PROJECT

280-298 Railway Parade, Carlton, NSW

NORTH-WEST ELEVATION

SCALE	DATE	DRAWN	CHECKED
1:200@A1 1:400@A3	11.02.2019	AS	PS
JOB	DRAWING	REVISION	
18077	DA3.01	L	

- A - ALUMINIUM WINDOWS IN MATT BLACK
B - STEEL BEAM MATT BLACK
C - WHITE PANELLING
D - BRICKS. COLOUR AS SHOWN
E - TIMBER LOOK ALUMINIUM CLADDING
F - WHITE RENDERED AND PAINTED WALL
G - GREY RENDERED AND PAINTED WALL
H - ALUMINIUM WINDOWS IN MATT BLACK
I - STEEL FRAMED AWNING MATT DARK GREY COLOUR
J - DARK GREY ALUMINIUM VERTICAL LOUVERS
K - DARK GREY ALUMINIUM HORIZONTAL LOUVERS
L - DARK GREY BRICKS



COMMERCIAL BUILDING	
3,400mm	RL60.50 LIFT OVERRUN
4,200mm	RL59.30 TOP OF ROOF OF STAIRS
4,000mm	RL55.90 FIFTH FLOOR ROOF TERRACE
4,000mm	RL51.70 FOURTH FLOOR
4,000mm	RL47.70 THIRD FLOOR
4,000mm	RL43.70 SECOND FLOOR
4,000mm	RL39.70 FIRST FLOOR
4,600mm	RL35.10 GROUND FLOOR
3,300mm	RL31.80 BASEMENT 1
2,950mm	RL28.85 BASEMENT 2
2,950mm	RL25.90 BASEMENT 3

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F	2019.09.03	PRELIMINARY FOR COORDINATION	AS	
G	2019.09.13	FOR COORDINATION	CS	
H	2019.09.24	FOR COORDINATION	CS	
I	2019.11.14	FOR COORDINATION	AS	

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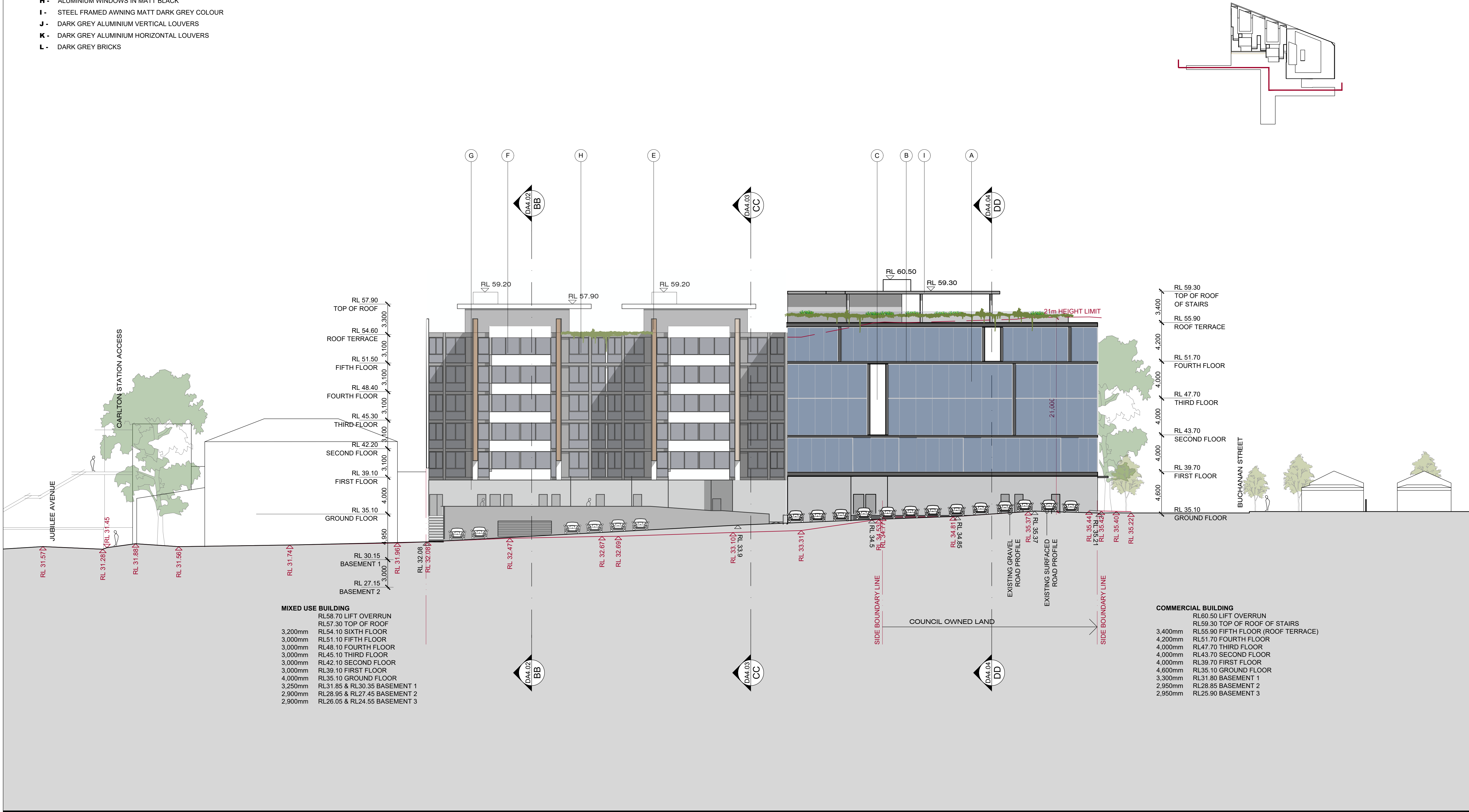
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PROJECT
280-298 Railway Parade, Carlton, NSW

NORTH-EAST ELEVATION

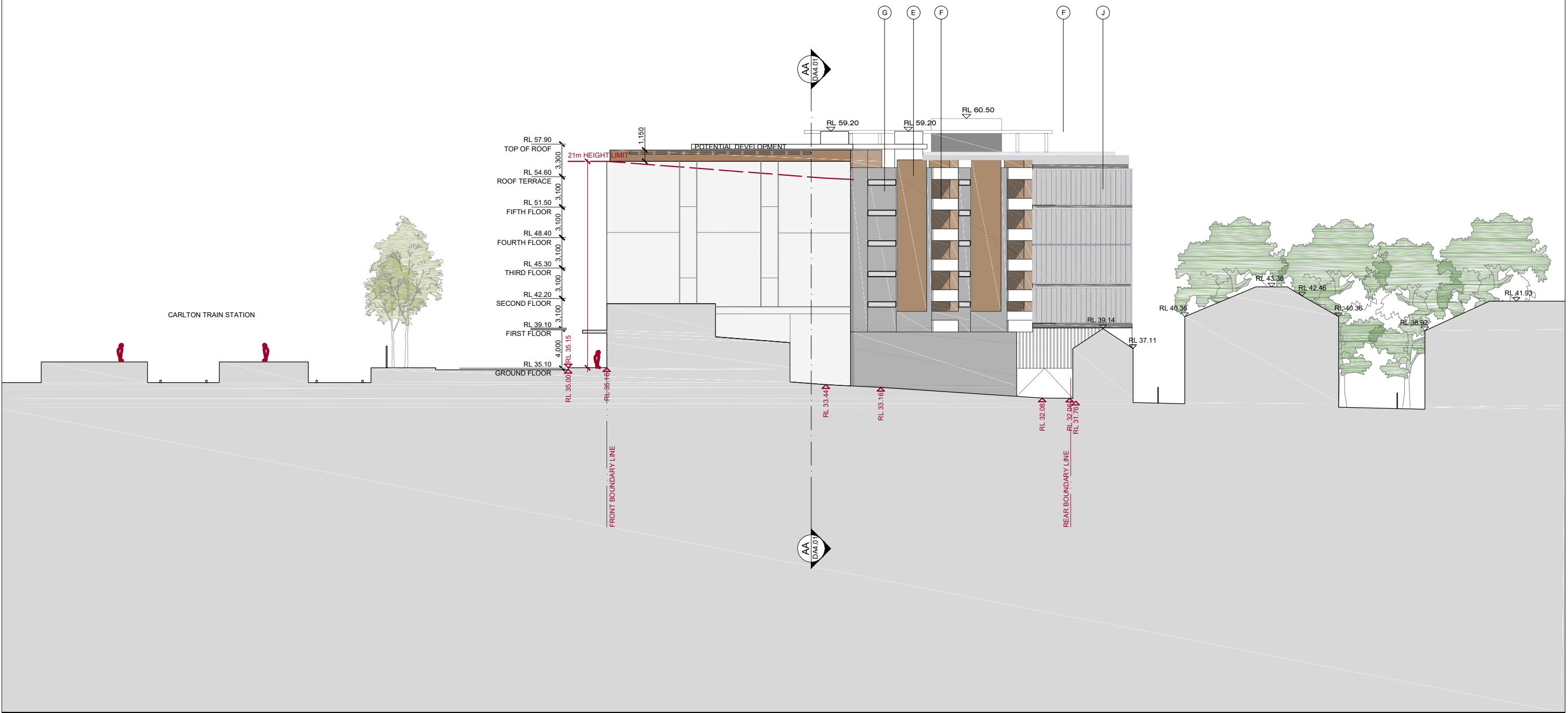
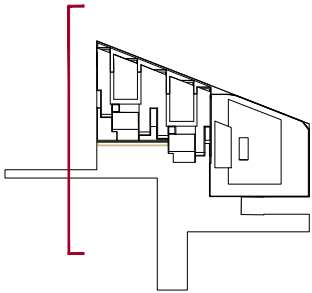
SCALE	DATE	DRAWN	CHECKED
1:200@A1 1:400@A3	11.02.2019	AS	PS
JOB	DRAWING	REVISION	
18077	DA3.02	L	

- A - ALUMINIUM WINDOWS IN MATT BLACK
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	A	2019.02.01	PRELIMINARY	CS	L	2020.08.18	POST SUBMISSION AMENDMENTS	PS														
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	G	2019.09.13	FOR COORDINATION	CS																		
	H	2019.09.24	FOR COORDINATION	CS																		
	I	2019.11.14	FOR COORDINATION	AS																		
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									PROJECT		280-298 Railway Parade, Carlton, NSW				SCALE		DATE		DRAWN		CHECKED	
															1:200@A1 1:400@A3		11.02.2019		AS		PS	
															JOB		DRAWING		REVISION			
															18077		DA3.03		L			

- A - ALUMINIUM WINDOWS IN MATT BLACK
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H	2019.09.24	FOR COORDINATION	CS
I	2019.11.14	FOR COORDINATION	AS

K	2020.08.10	POST DA SUBMISSION AMENDMENTS	PS
L	2020.08.18	POST SUBMISSION AMENDMENTS	PS

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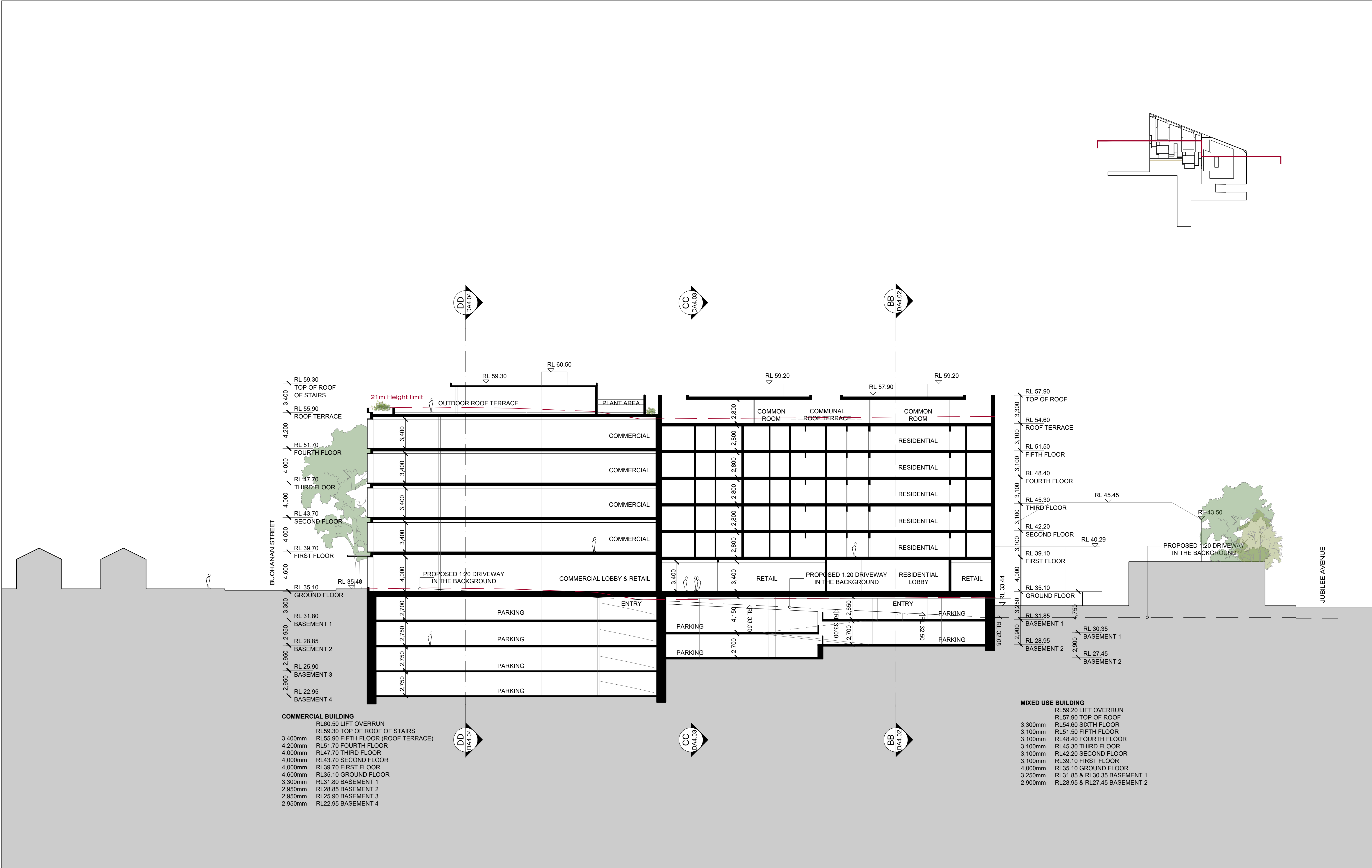
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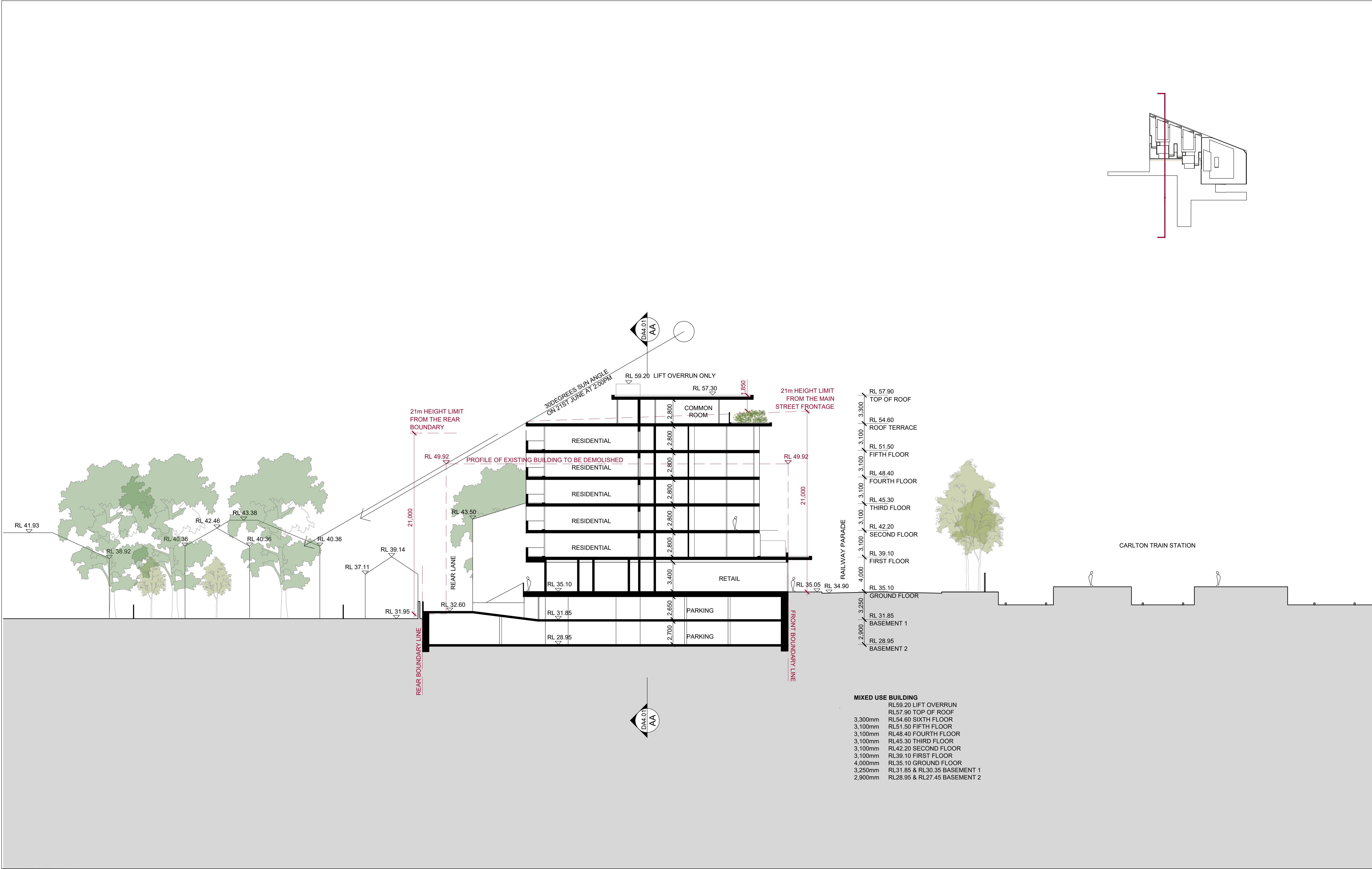
PROJECT
280-298 Railway Parade, Carlton, NSW

SOUTH-WEST ELEVATION

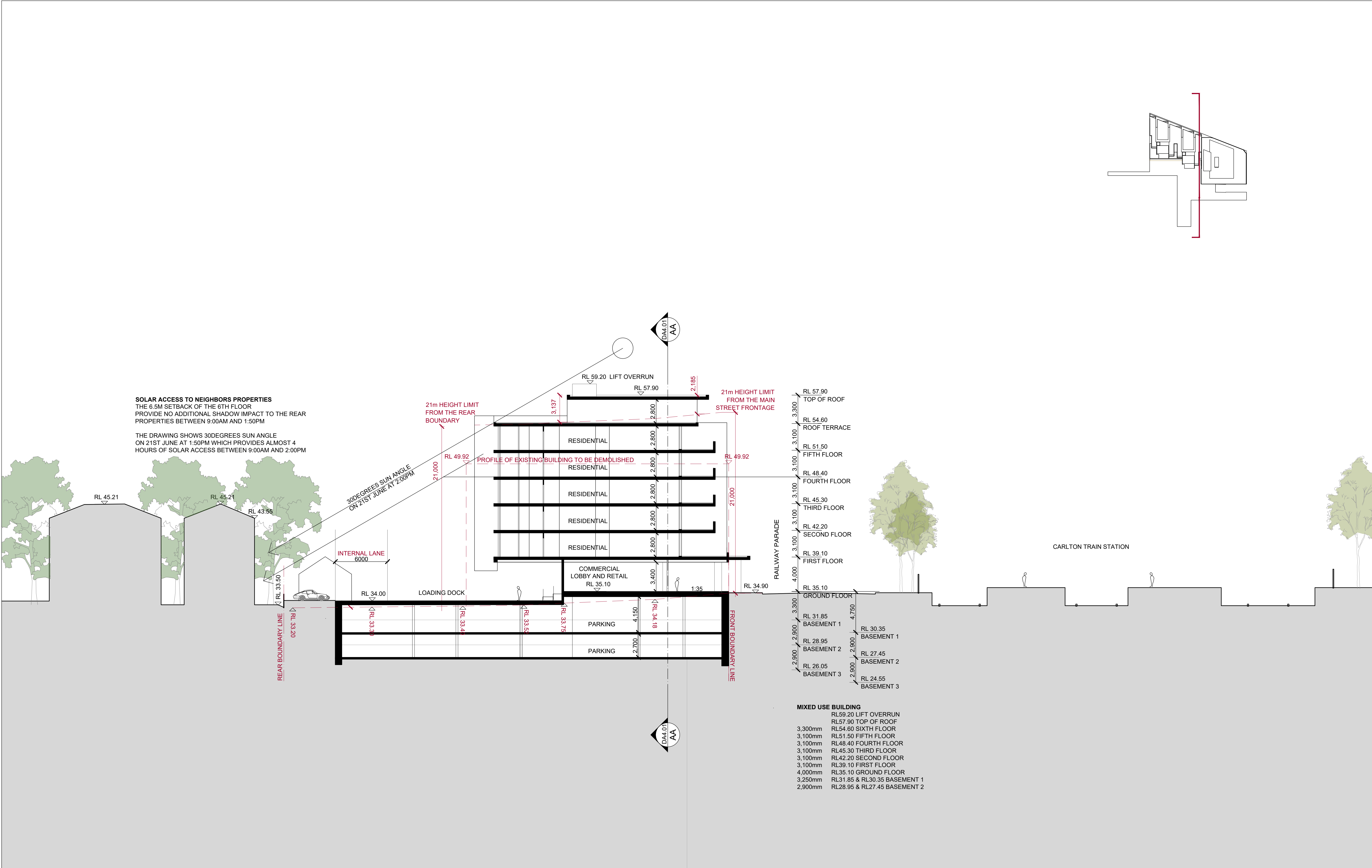
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JOB 18077	DRAWING DA3.04	REVISION L	



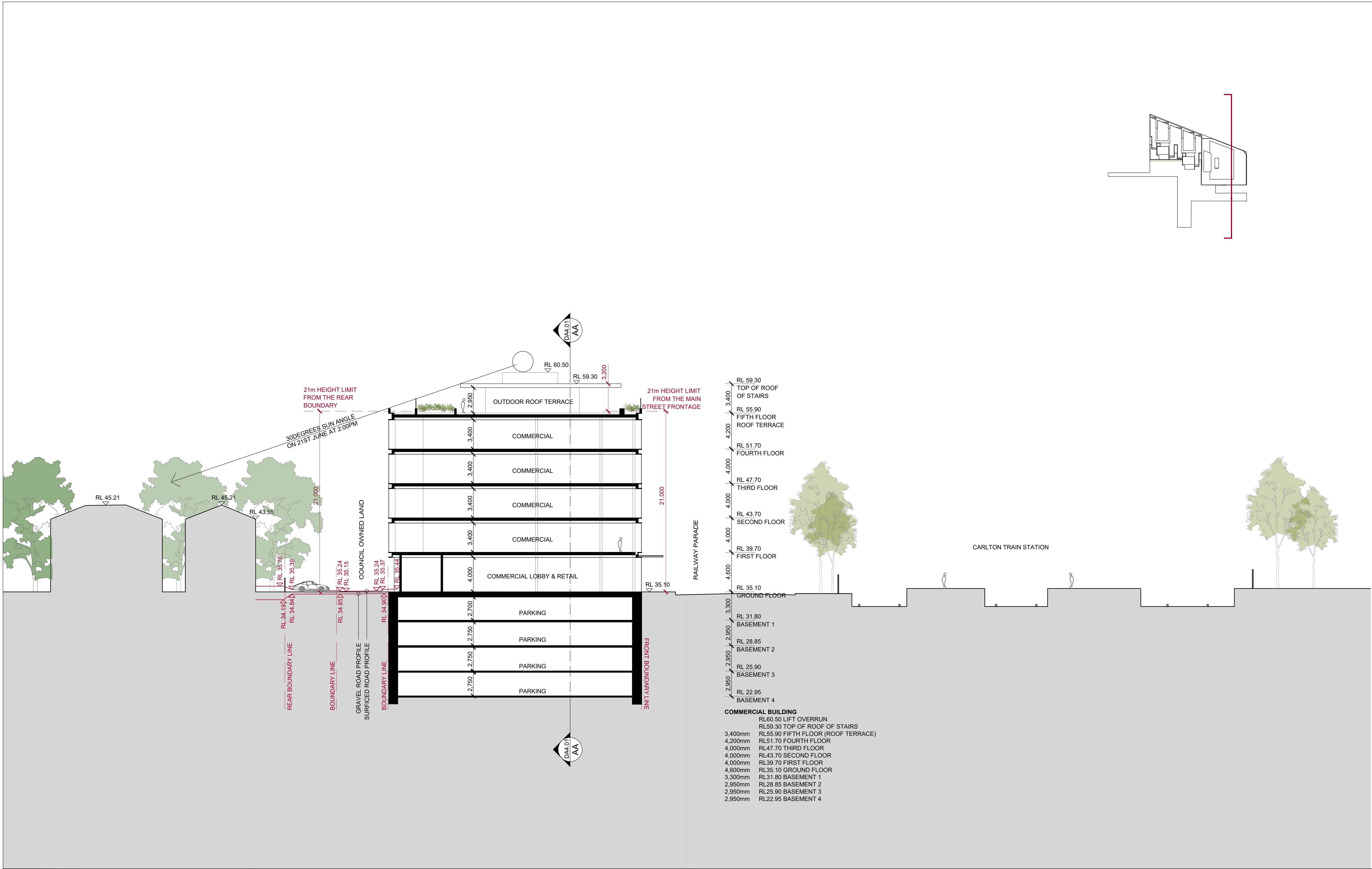
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	JOB 18077	DRAWING DA4.01	REVISION I											
	C	2019.03.07	PRE-DA	PS			<div>0 5 10</div>							
	D	2019.05.08	PRE-DA	CS										
	E	2019.05.15	FOR COORDINATION	CS										
	F	2019.09.02	PRELIMINARY FOR COORDINATION	AS										
	G	2019.09.06	PRELIMINARY FOR COORDINATION	CS										
	H	2019.12.03	PRELIMINARY FOR COORDINATION	AS										
	I	2020.08.18	POST SUBMISSION AMENDMENTS	PS										



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	C	2019.02.10	PRE-DA	PS									
	D	2019.05.08	PRE-DA	CS									
	E	2019.05.15	FOR COORDINATION	CS									
	F	2019.09.02	PRELIMINARY FOR COORDINATION	AS									
	G	2019.09.06	PRELIMINARY FOR COORDINATION	CS									
	H	2019.12.03	PRELIMINARY FOR COORDINATION	AS									
	I	2020.08.18	POST SUBMISSION AMENDMENTS	PS									
	<div>0 5 10</div>						<div>PROJECT</div> <div>280-298 Railway Parade, Carlton, NSW</div>				<div>SCALE</div> <div>1:200@A3 1:400@A3</div>	<div>DATE</div> <div>02.03.2019</div>	<div>DRAWN</div> <div>AS</div>
						<div>JOB</div> <div>18077</div>				<div>DRAWING</div> <div>DA4.02</div>	<div>REVISION</div> <div>I</div>		



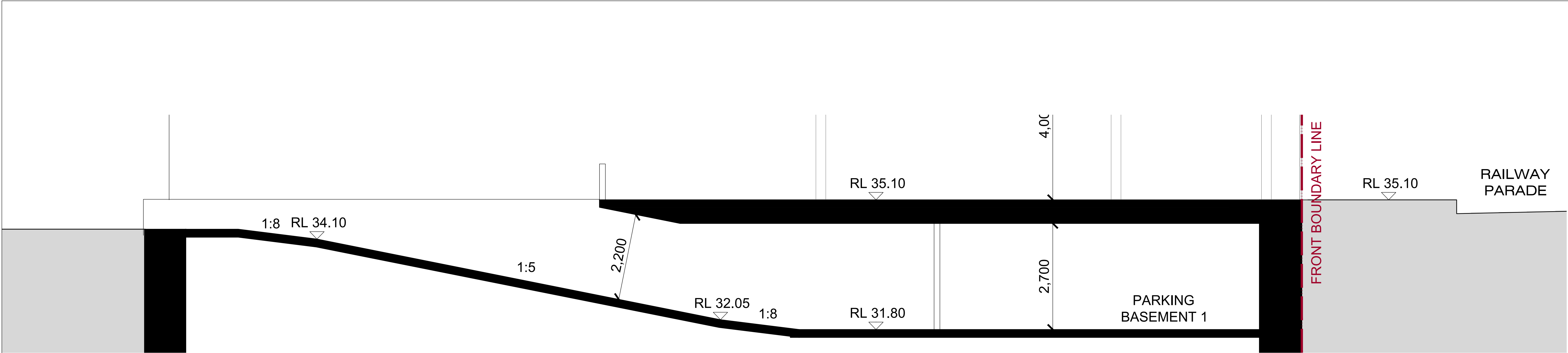
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	C	2019.02.10	PRE-DA	PS			<div>PROJECT</div> <div>280-298 Railway Parade, Carlton, NSW</div>		SCALE	DATE	DRAWN	CHECKED
	D	2019.05.08	PRE-DA	CS					1:200@A1 1:400@A3	02.03.2019	AS	PS
	E	2019.05.15	FOR COORDINATION	CS					<div>JOB</div> <div>18077</div>	<div>DRAWING</div> <div>DA4.03</div>	<div>REVISION</div> <div>J</div>	
	F	2019.09.02	PRELIMINARY FOR COORDINATION	AS								
	G	2019.09.06	PRELIMINARY FOR COORDINATION	CS								
	H	2019.09.24	FOR COORDINATION	CS								
	I	2019.12.03	FOR COORDINATION	AS								
	J	2020.08.18	POST SUBMISSION AMENDMENTS	PS								



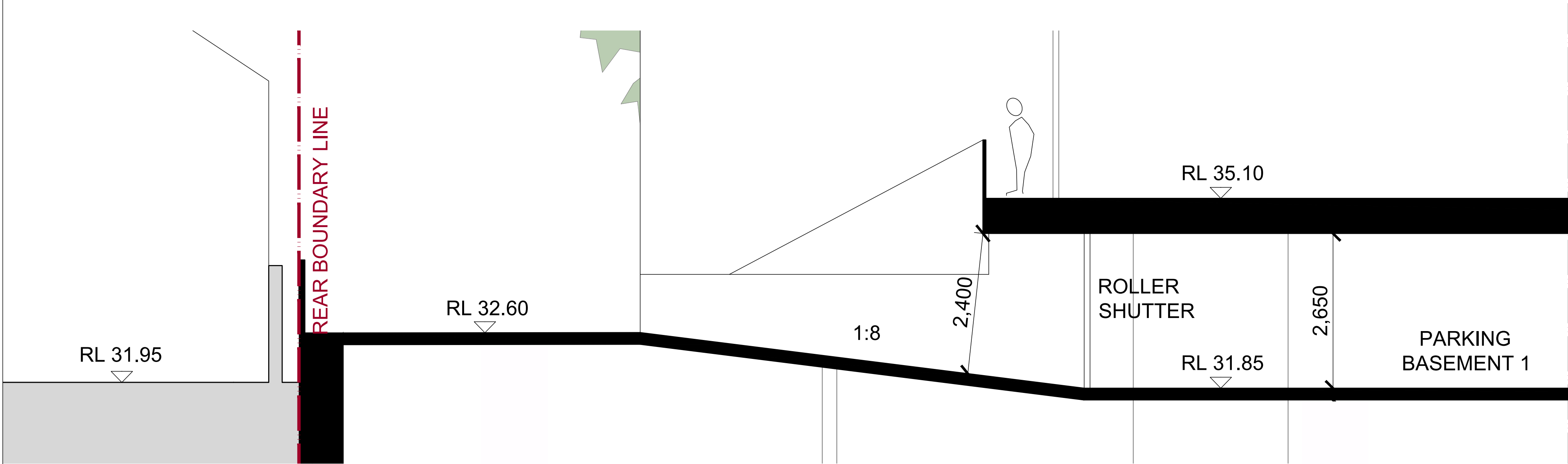
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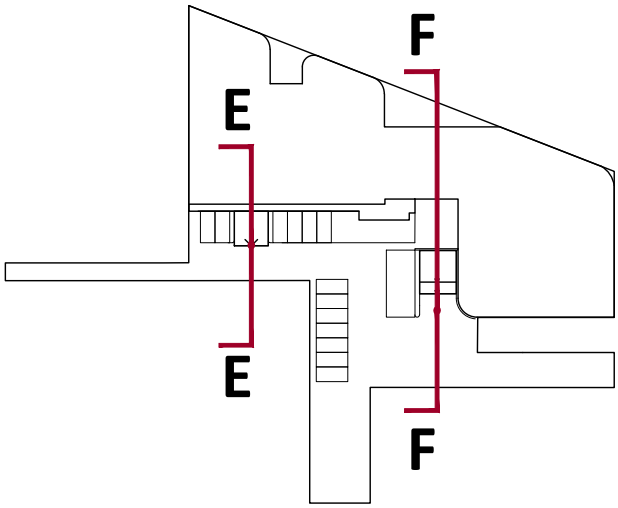
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JOB 18077	DRAWING DA4.04		REVISION I



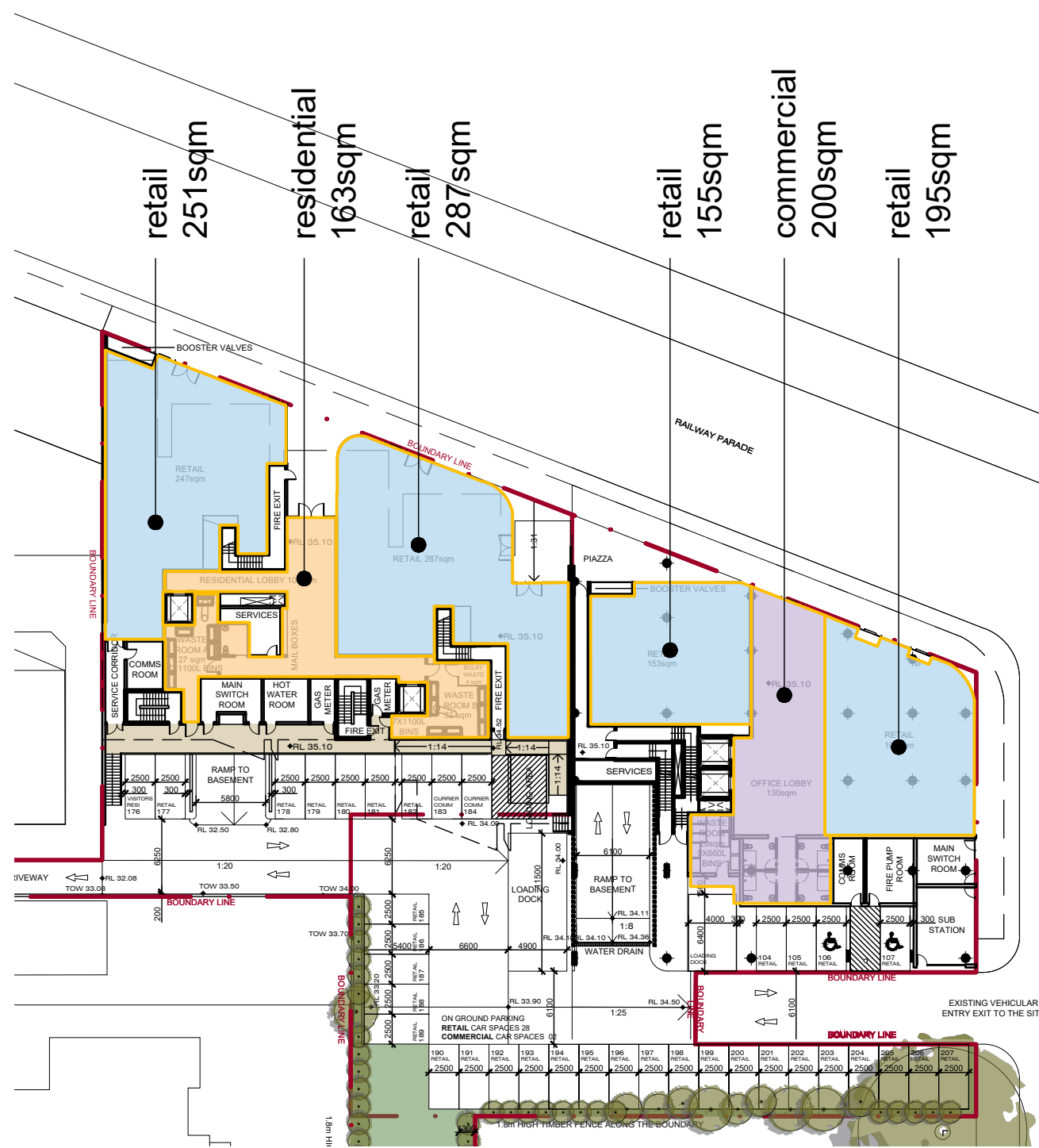
SECTION FF



SECTION EE



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					PROJECT				280-298 Railway Parade, Carlton, NSW							
					SCALE 1:50@A1 1:100@A3				DATE 23.09.2019		DRAWN AS		CHECKED PS			
					JOB 18077				DRAWING DA4.05				REVISION D			



01 GROUND FLOOR



02 LEVEL 01



03 LEVEL 02



04 LEVEL 03



05 LEVEL 4



06 LEVEL 05



07 LEVEL 06

ITEM	STAGE 1 COMMERCIAL	STAGE 2 MIXED USE	TOTAL
GROUND FLOOR	retail 350sqm	retail 538sqm	
GROUND FLOOR	office lobby 200sqm	residential lobby 163sqm	
FIRST FLOOR	office 978sqm	residential 735sqm	
SECOND FLOOR	office 978sqm	residential 735sqm	
THIRD FLOOR	office 978sqm	residential 735sqm	
FOURTH FLOOR	office 978sqm	residential 735sqm	
FIFTH FLOOR	office amenities 020sqm	residential 735sqm	
SIXTH FLOOR		residential 114sqm	
GFA	4,482sqm	4,490sqm	8,972sqm
SITE AREA	1,792.8sqm	1,515.0sqm	3,307.8sqm
RETAIL GFA			888sqm
COMMERCIAL GFA			4,132sqm
RESIDENTIAL GFA			3,952sqm
GFA			8,972sqm

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REVISION	DATE	DESCRIPTION	BY
A	2019.09.24	FOR COORDINATION	CS
B	2019.10.05	FOR COORDINATION	CS
C	2019.11.04	FOR COORDINATION	AS
D	2019.11.14	FOR COORDINATION	AS
E	2020.07.12	POST DA AMENDMENTS	PS

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CLIENT	willowfrank						
PROJECT	280-298 Railway Parade, Carlton, NSW						
SCALE	1:500@A1 1:1000@A3	DATE	23.09.2019	DRAWN	AS	CHECKED	PS
JOB	18077	DRAWING	DA5.01			REVISION	E



01 LEVEL 01



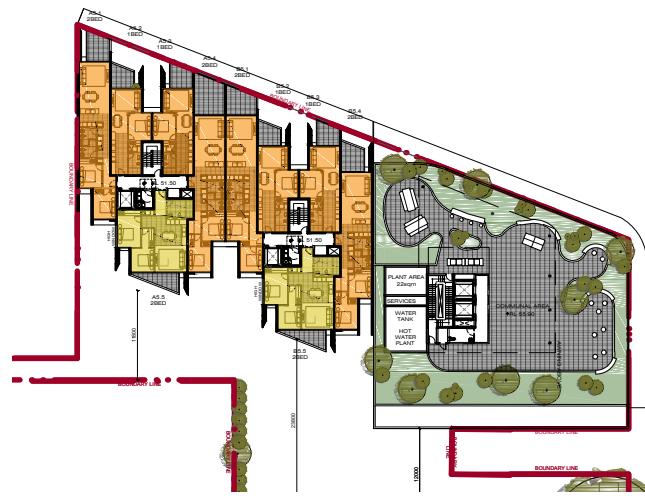
02 LEVEL 02



03 LEVEL 03



04 LEVEL 4



05 LEVEL 05



06 LEVEL 06

- UNITS ACHIEVING 2h SOLAR ACCESS
- UNITS ACHIEVING DIRECT SOLAR ACCESS

UNITS ACHIEVING A MINIMUM OF 2H OF SOLAR ACCESS ON THE 21ST JUNE

FIRST FLOOR	8/10
SECOND FLOOR	8/10
THIRD FLOOR	8/10
FOURTH FLOOR	8/10
FIFTH FLOOR	8/10
SIXTH FLOOR	-
TOTAL	40/50
PERCENTAGE	80.0%

UNITS ACHIEVING NO SOLAR ACCESS ON THE 21ST JUNE

FIRST FLOOR	2/10
SECOND FLOOR	2/10
THIRD FLOOR	2/10
FOURTH FLOOR	2/10
FIFTH FLOOR	0/10
SIXTH FLOOR	-
TOTAL	8/50
PERCENTAGE	16.0%

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	D	2019.09.13	FOR COORDINATION	CS
	E	2019.11.04	FOR COORDINATION	AS
FOR APPROVAL NOT FOR CONSTRUCTION	F	2020.08.10	POST DA SUBMISSION AMENDMENTS	PS

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PROJECT
280-298 Railway Parade, Carlton, NSW

SOLAR ACCESS DIAGRAM

SCALE 1:500@A1 1:1000@A3	DATE 11.02.2019	DRAWN AS	CHECKED PS
JOB 18077	DRAWING DA5.02	REVISION F	



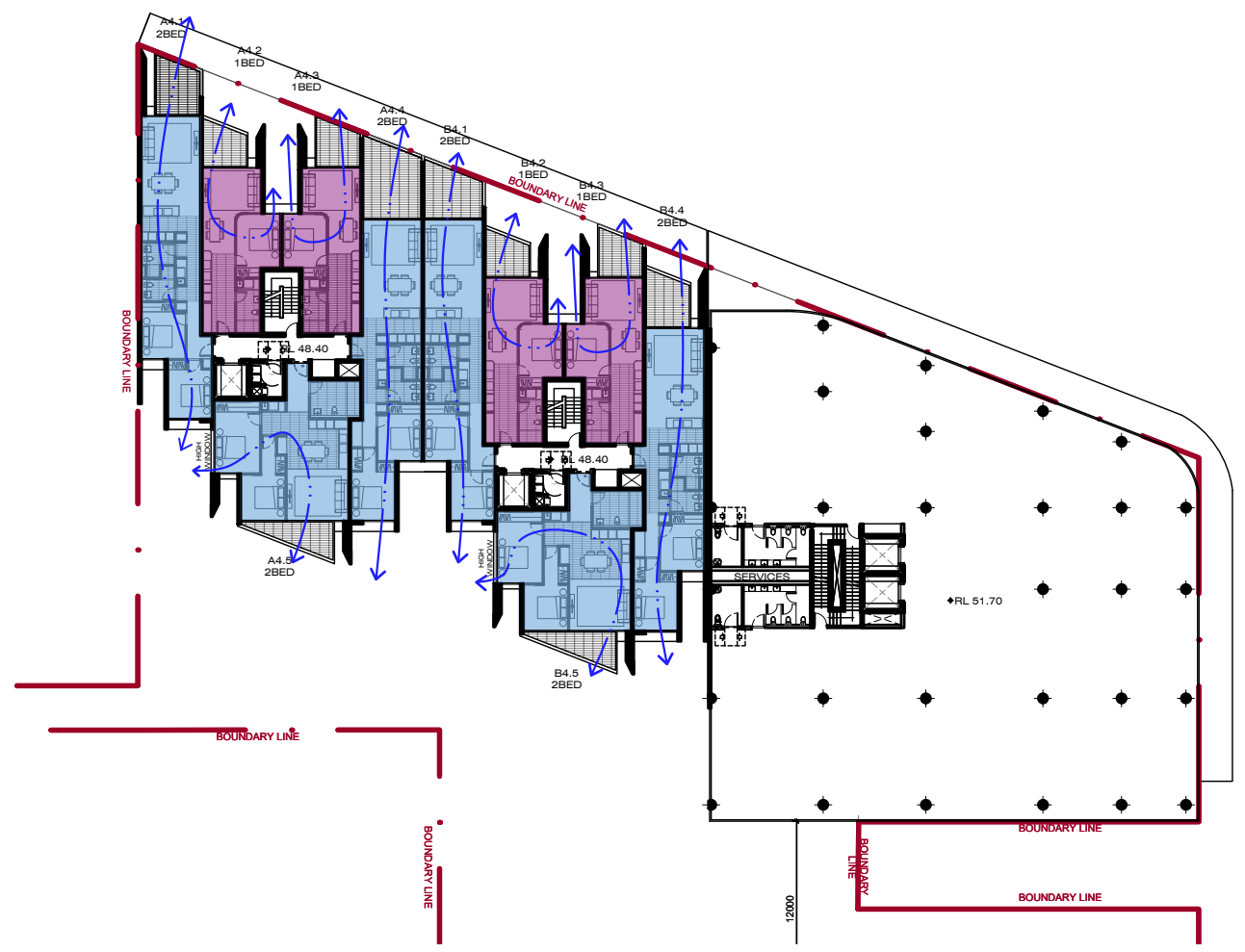
01 LEVEL 01



02 LEVEL 02



03 LEVEL 03



04 LEVEL 4



05 LEVEL 05



06 LEVEL 06

UNITS ACHIEVING CROSS OVER VENTILATION

FIRST FLOOR	6/10
SECOND FLOOR	6/10
THIRD FLOOR	6/10
FOURTH FLOOR	6/10
FIFTH FLOOR	6/10
SIXTH FLOOR	-
TOTAL	30/50

PERCENTAGE 60.0%

UNITS ACHIEVING NATURAL VENTILATION

FIRST FLOOR	10/10
SECOND FLOOR	10/10
THIRD FLOOR	10/10
FOURTH FLOOR	10/10
FIFTH FLOOR	10/10
SIXTH FLOOR	-
TOTAL	50/50

PERCENTAGE 100.0%

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C	2019.03.07	PRE-DA	PS
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E	2019.11.04	FOR COORDINATION	AS
F	2020.08.10	POST DA SUBMISSION AMENDMENTS	PS

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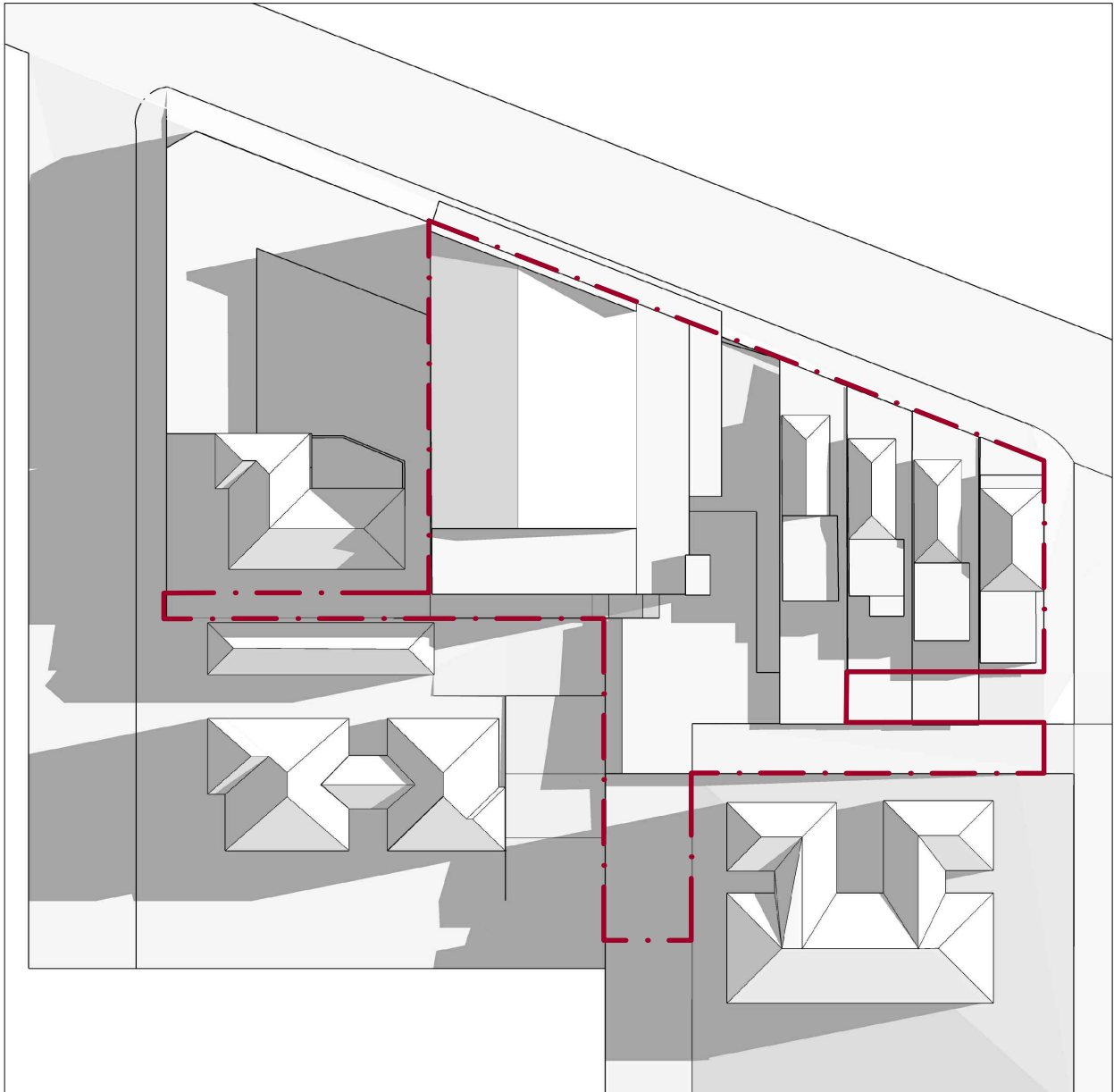
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PROJECT
280-298 Railway Parade, Carlton, NSW

CROSS OVER VENTILATION DIAGRAM

SCALE 1:500@A1 1:1000@A3	DATE 11.02.2019	DRAWN AS	CHECKED PS
JOB 18077	DRAWING DA5.03	REVISION F	



SHADOWS PROJECTED BY EXISTING CONDITIONS

SHADOWS PROJECTED BY PROPOSED SCHEME

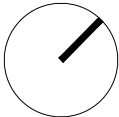
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D	2020.08.18	POST DA SUBMISSION AMENDMENTS	PS

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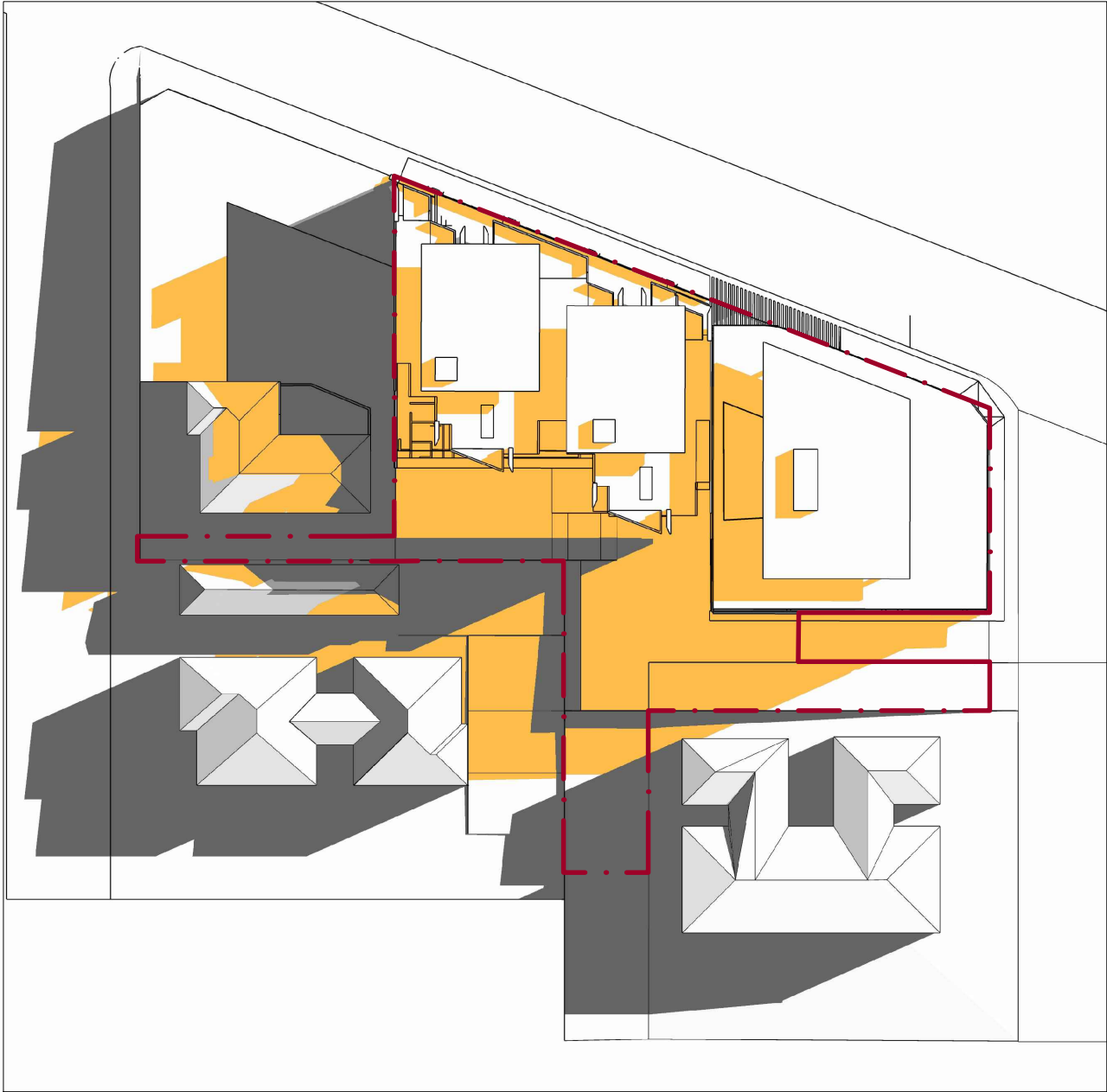
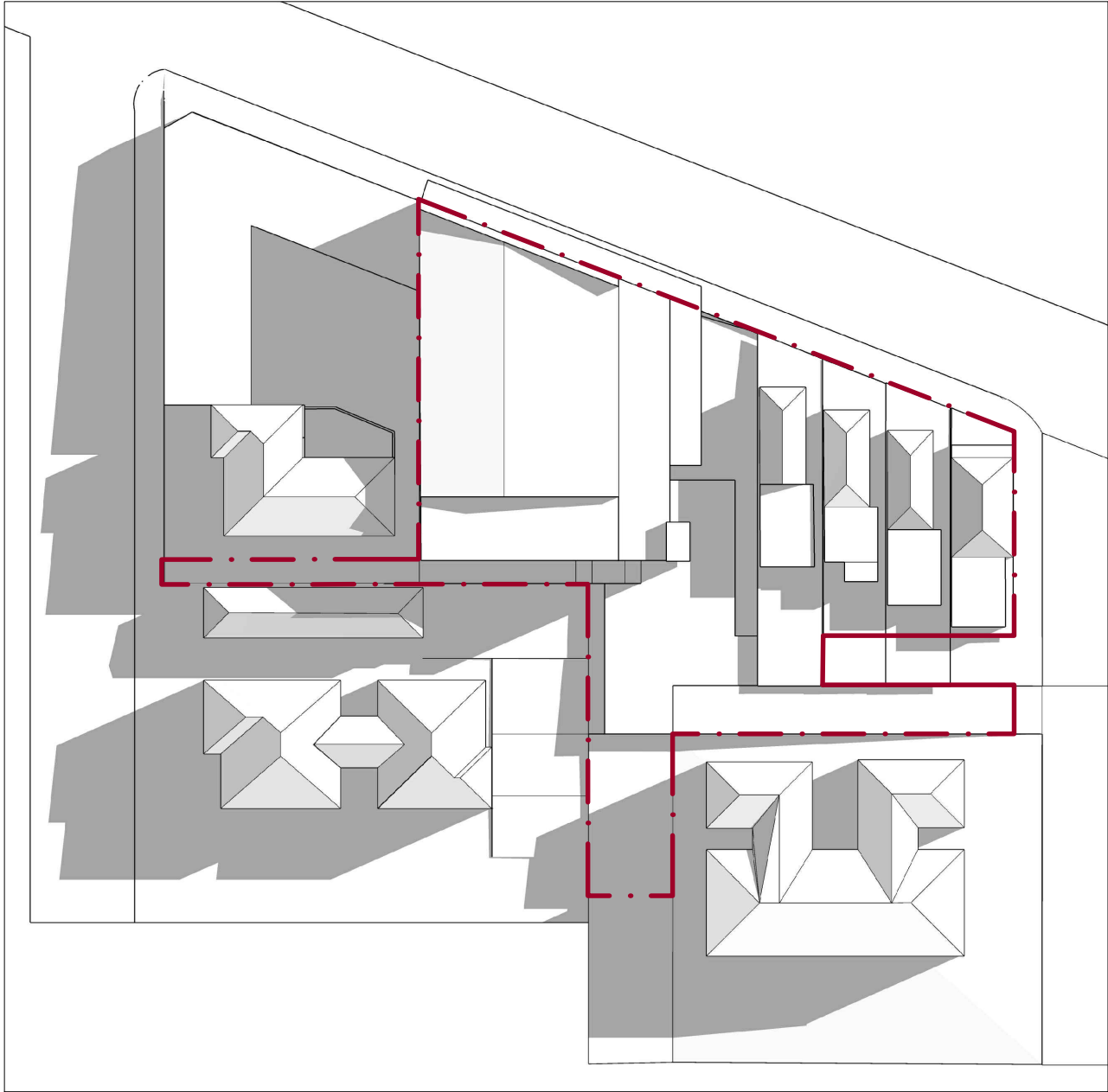


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PROJECT
280-298 Railway Parade, Carlton, NSW

SHADOW ANALYSIS 21JUN 9AM

SCALE 1:400@A1 1:800@A3	DATE 07.03.2019	DRAWN AS	CHECKED PS
JOB 18077	DRAWING DA5.04	REVISION D	



SHADOWS PROJECTED BY EXISTING CONDITIONS

SHADOWS PROJECTED BY PROPOSED SCHEME

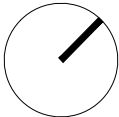
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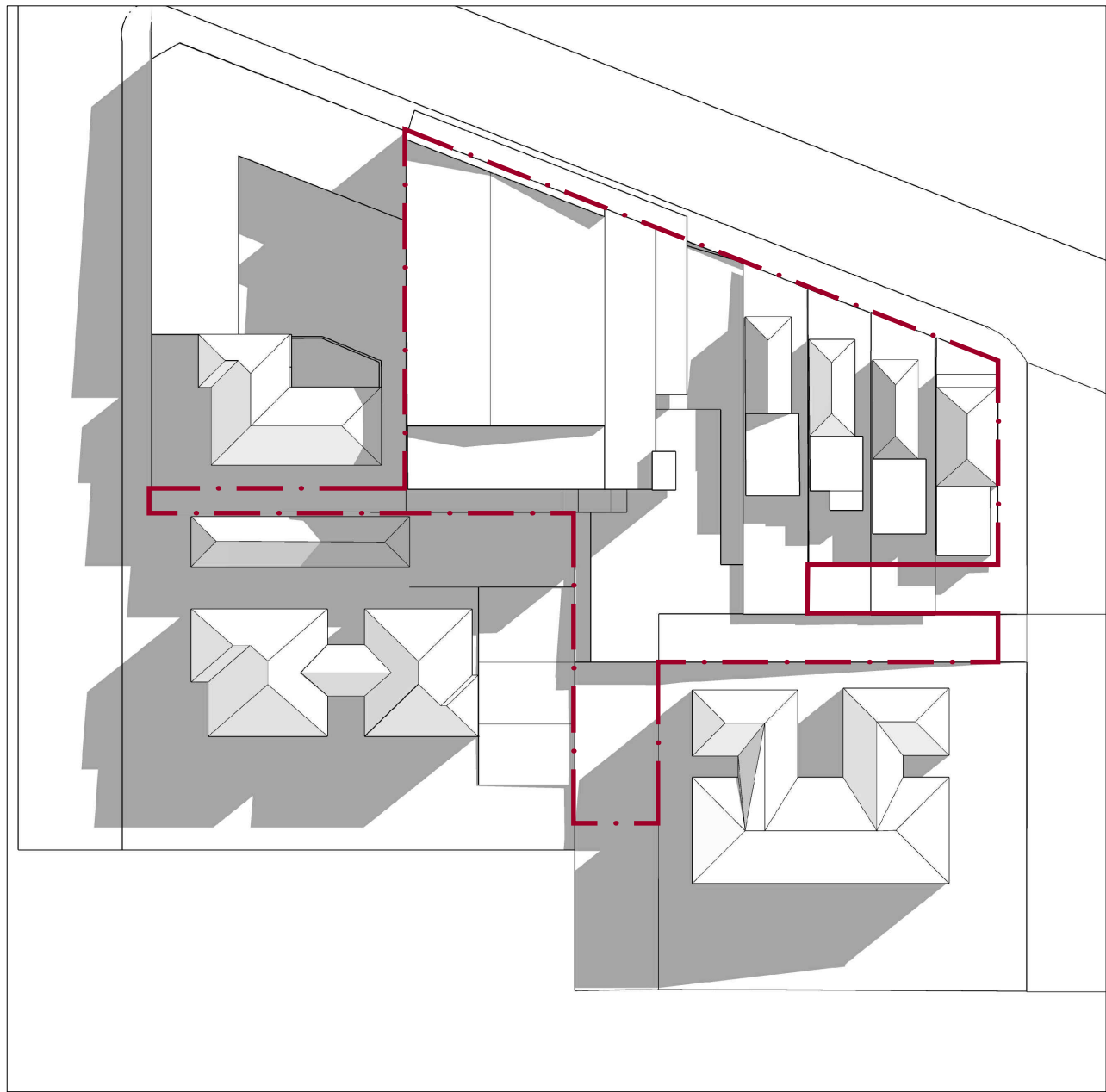


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PROJECT
280-298 Railway Parade, Carlton, NSW

SHADOW ANALYSIS 21JUN 10AM

SCALE 1:400@A1 1:800@A3	DATE 07.03.2019	DRAWN AS	CHECKED PS
JOB 18077	DRAWING DA5.05	REVISION D	



SHADOWS PROJECTED BY EXISTING CONDITIONS

SHADOWS PROJECTED BY PROPOSED SCHEME

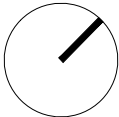
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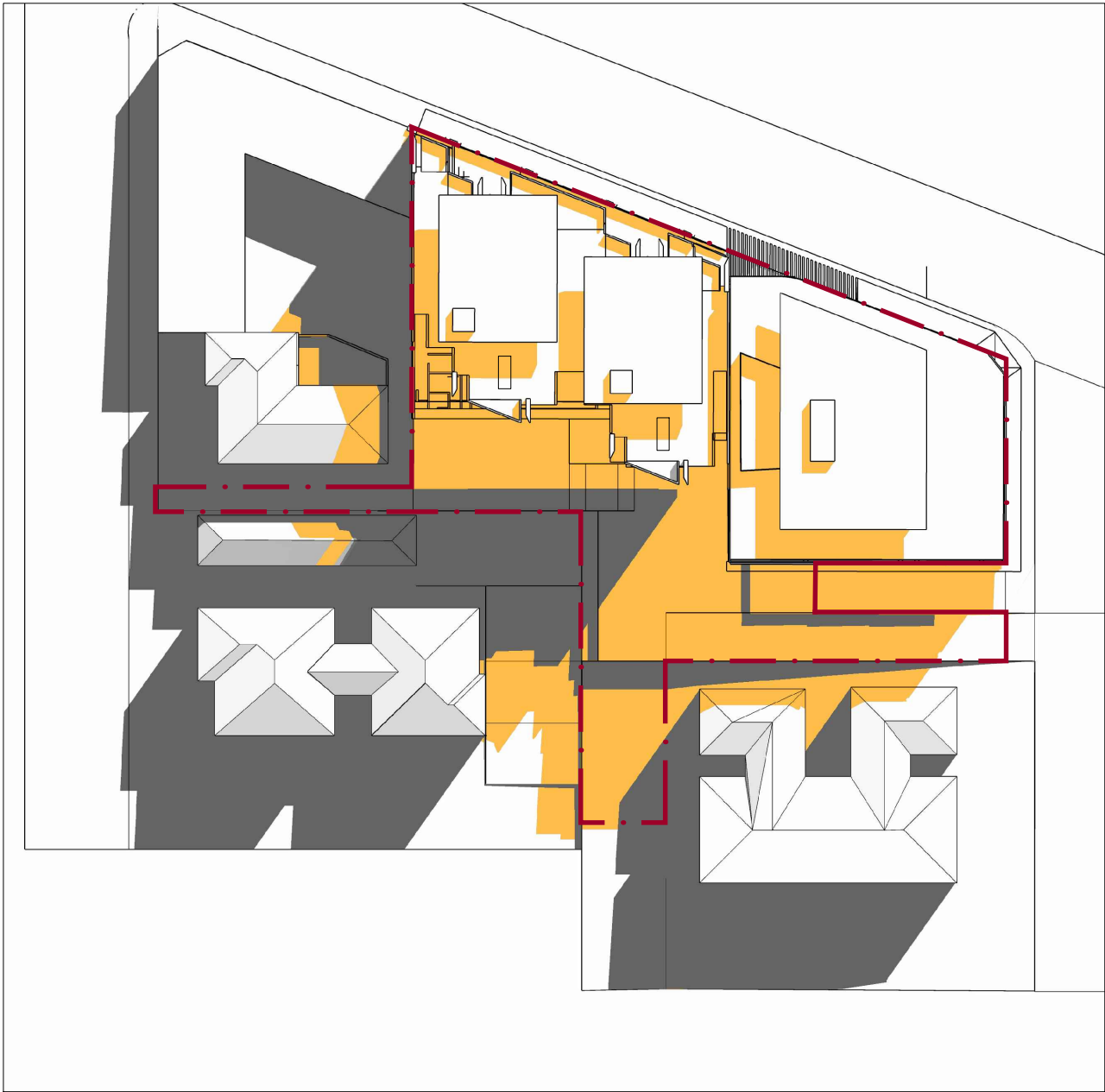
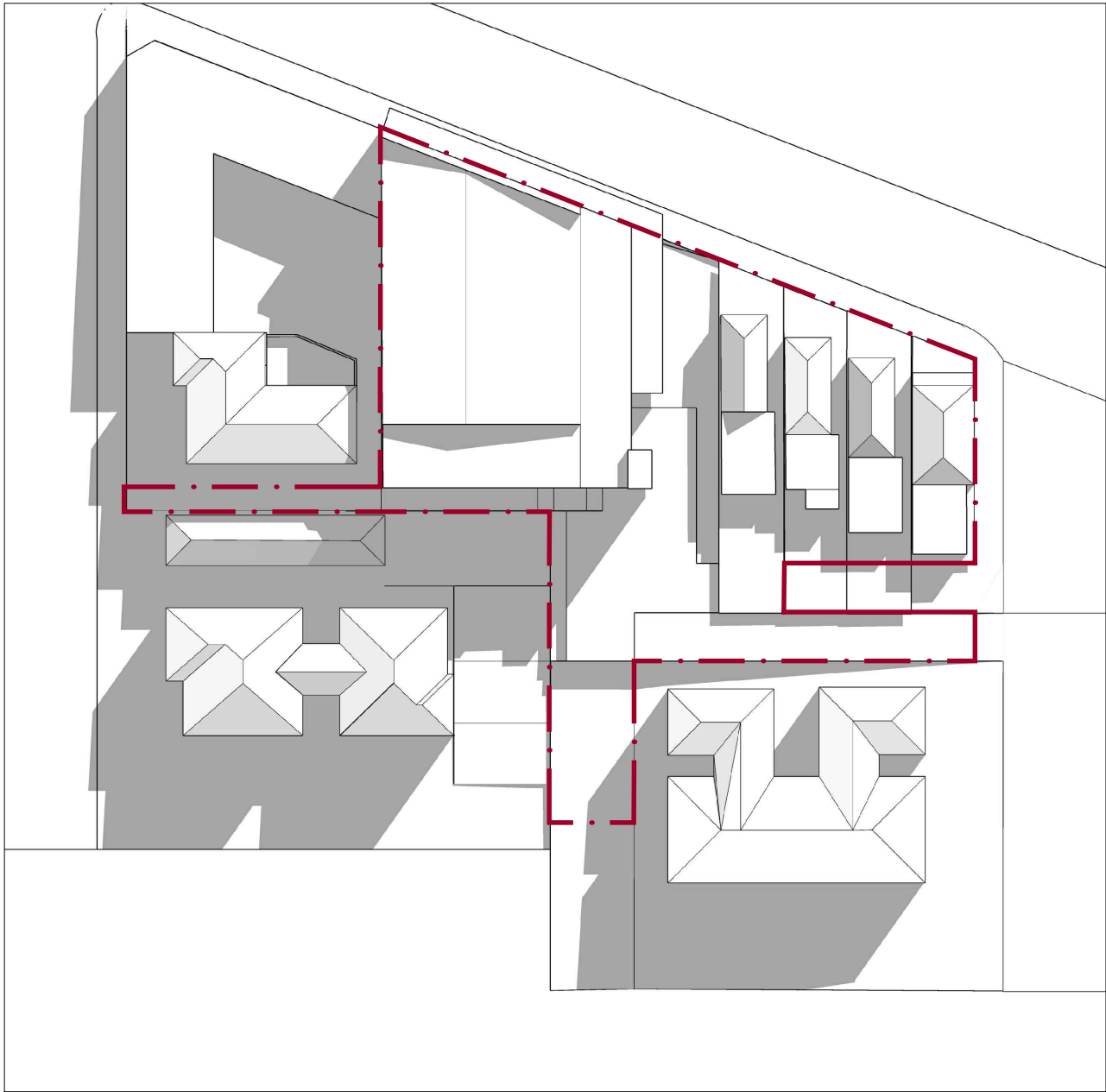


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PROJECT
280-298 Railway Parade, Carlton, NSW

SHADOW ANALYSIS 21JUN 11AM

SCALE 1:400@A1 1:800@A3	DATE 07.03.2019	DRAWN AS	CHECKED PS
JOB 18077	DRAWING DA5.06	REVISION D	



SHADOWS PROJECTED BY EXISTING CONDITIONS

SHADOWS PROJECTED BY PROPOSED SCHEME

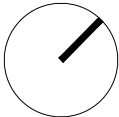
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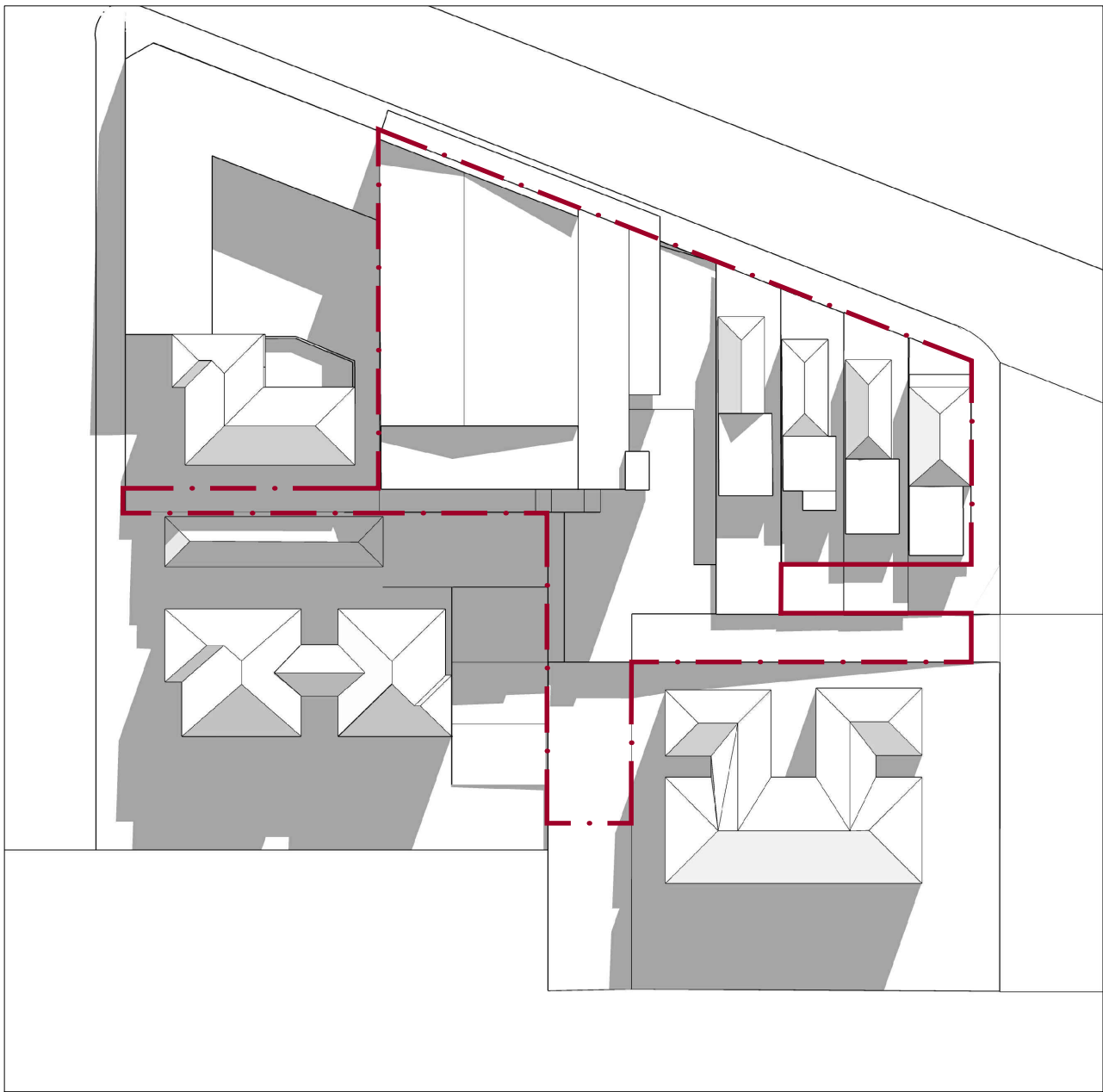


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PROJECT
280-298 Railway Parade, Carlton, NSW

SHADOW ANALYSIS 21JUN 12PM

SCALE 1:400@A1 1:800@A3	DATE 07.03.2019	DRAWN AS	CHECKED PS
JOB 18077	DRAWING DA5.07	REVISION D	



SHADOWS PROJECTED BY EXISTING CONDITIONS

SHADOWS PROJECTED BY PROPOSED SCHEME

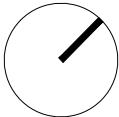
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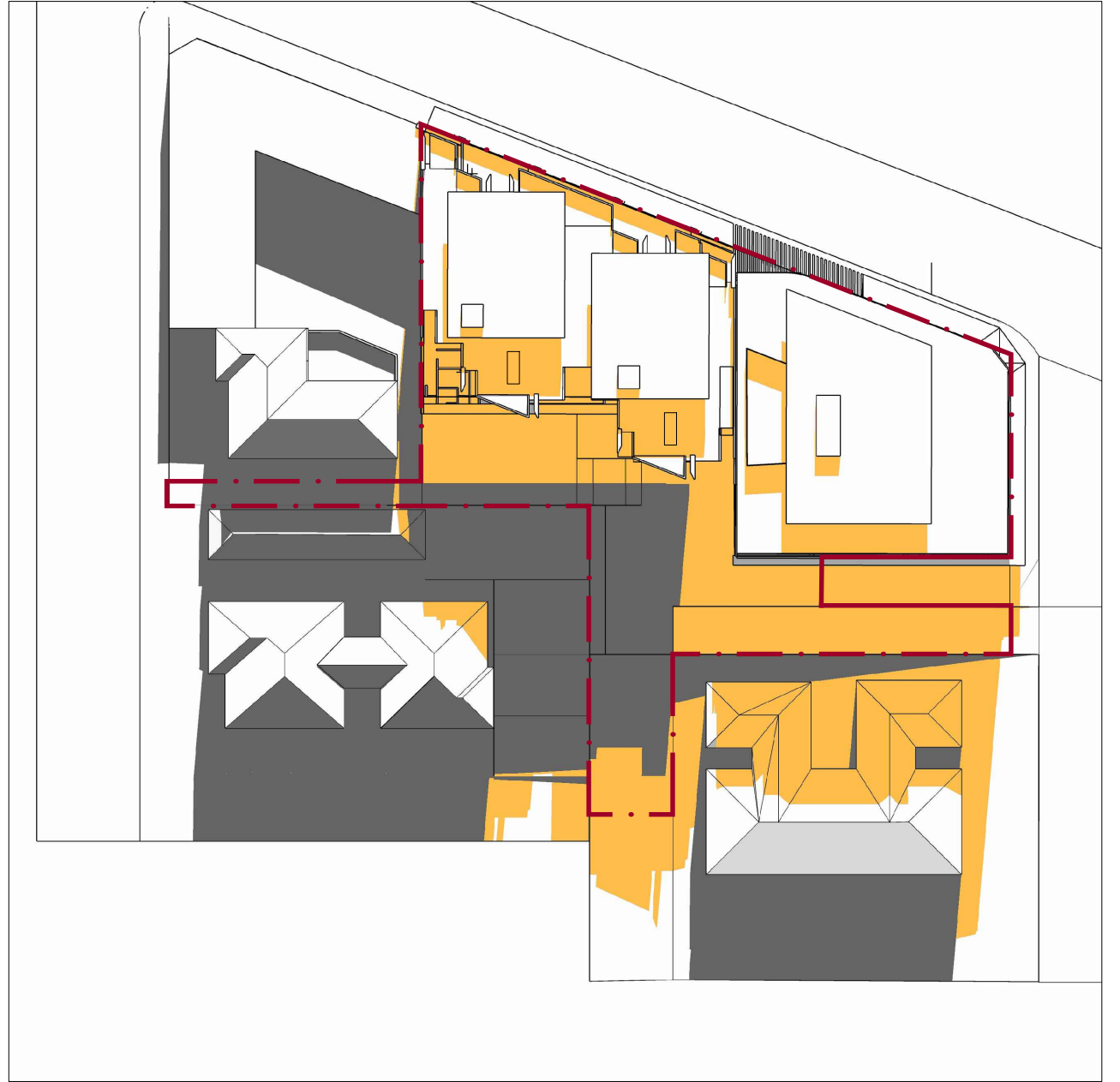
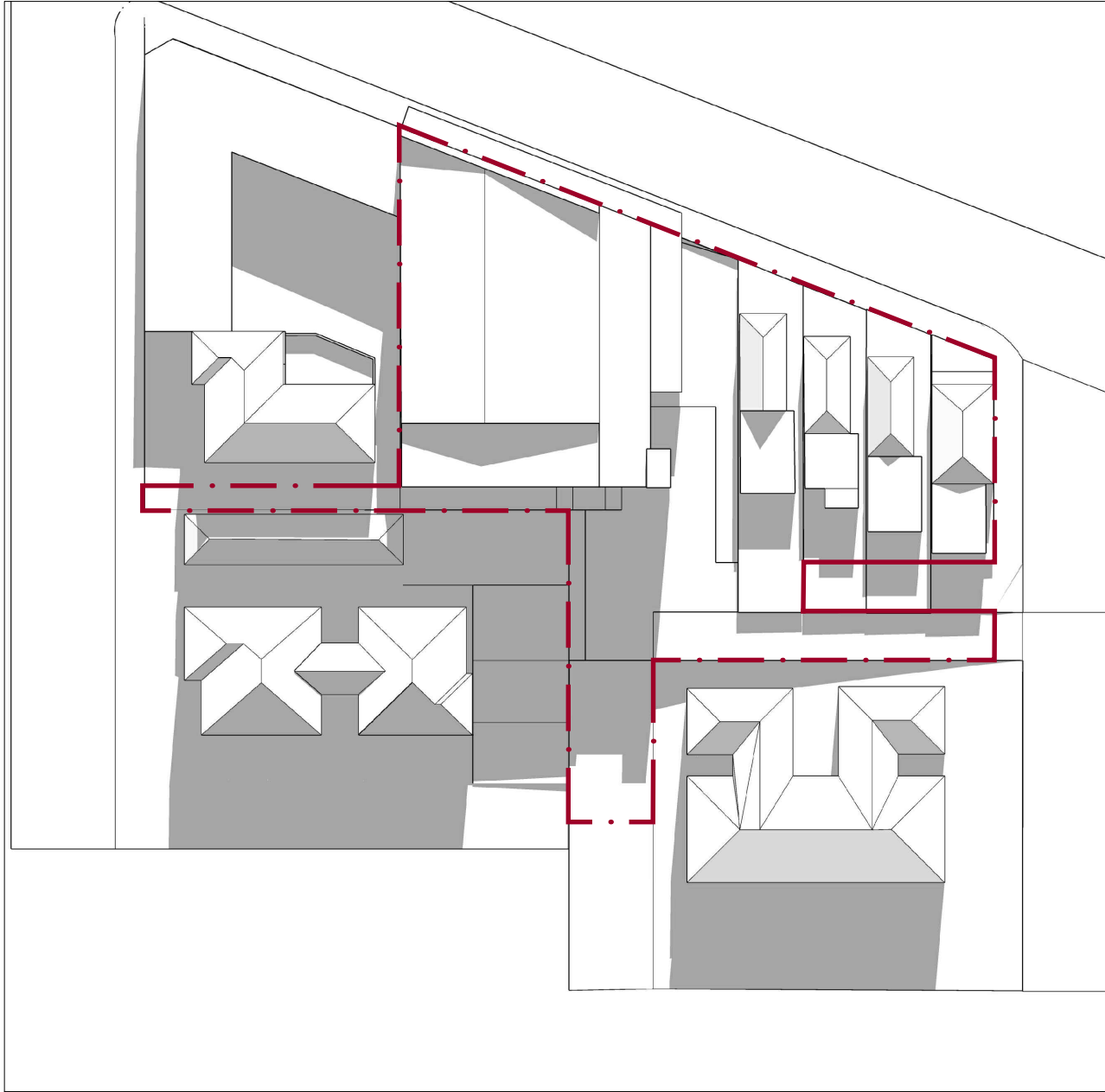


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PROJECT
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SHADOW ANALYSIS 21JUN 1PM

SCALE 1:400@A1 1:800@A3	DATE 07.03.2019	DRAWN AS	CHECKED PS
JOB 18077	DRAWING DA5.08	REVISION D	



SHADOWS PROJECTED BY EXISTING CONDITIONS

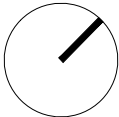
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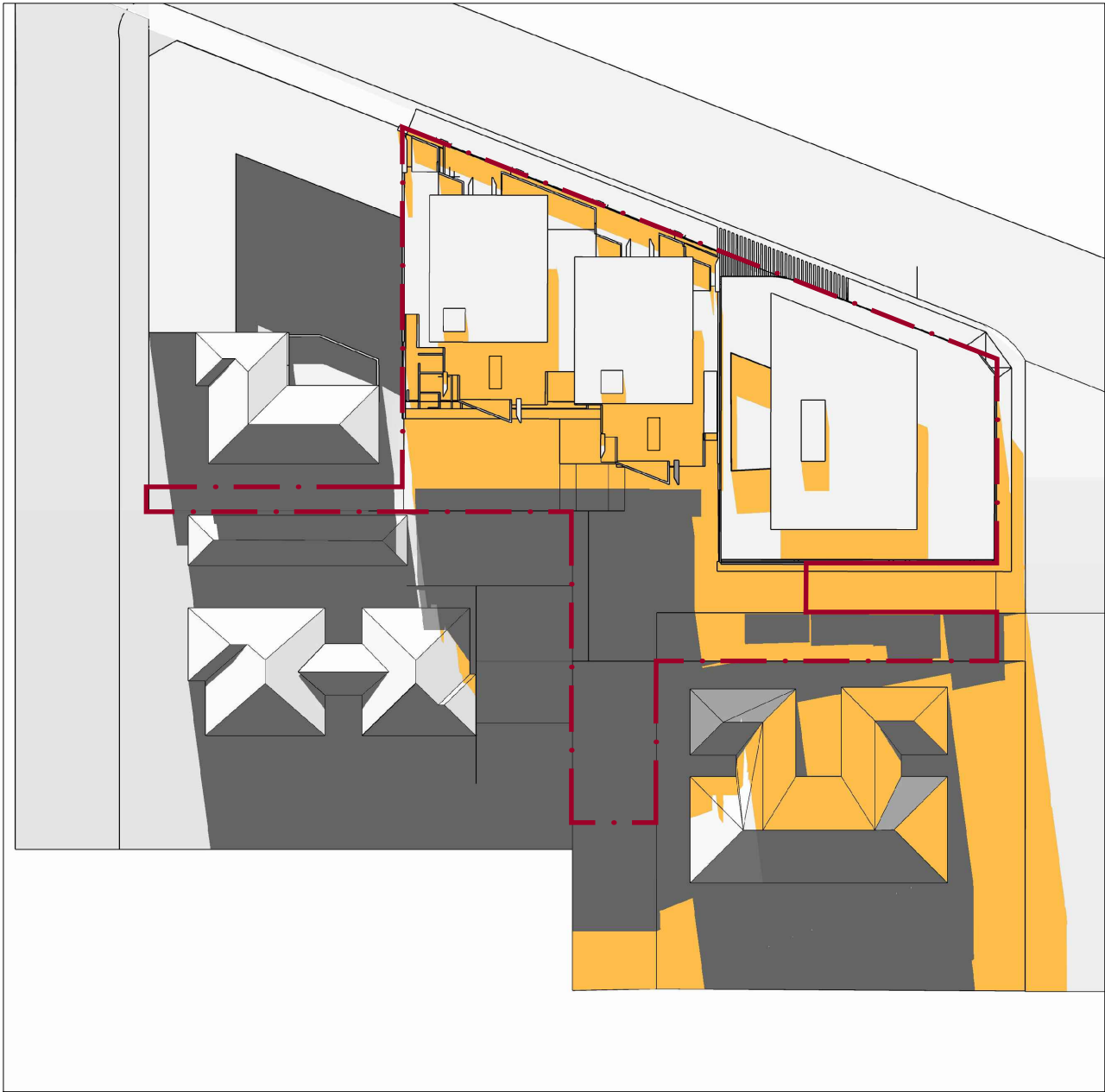
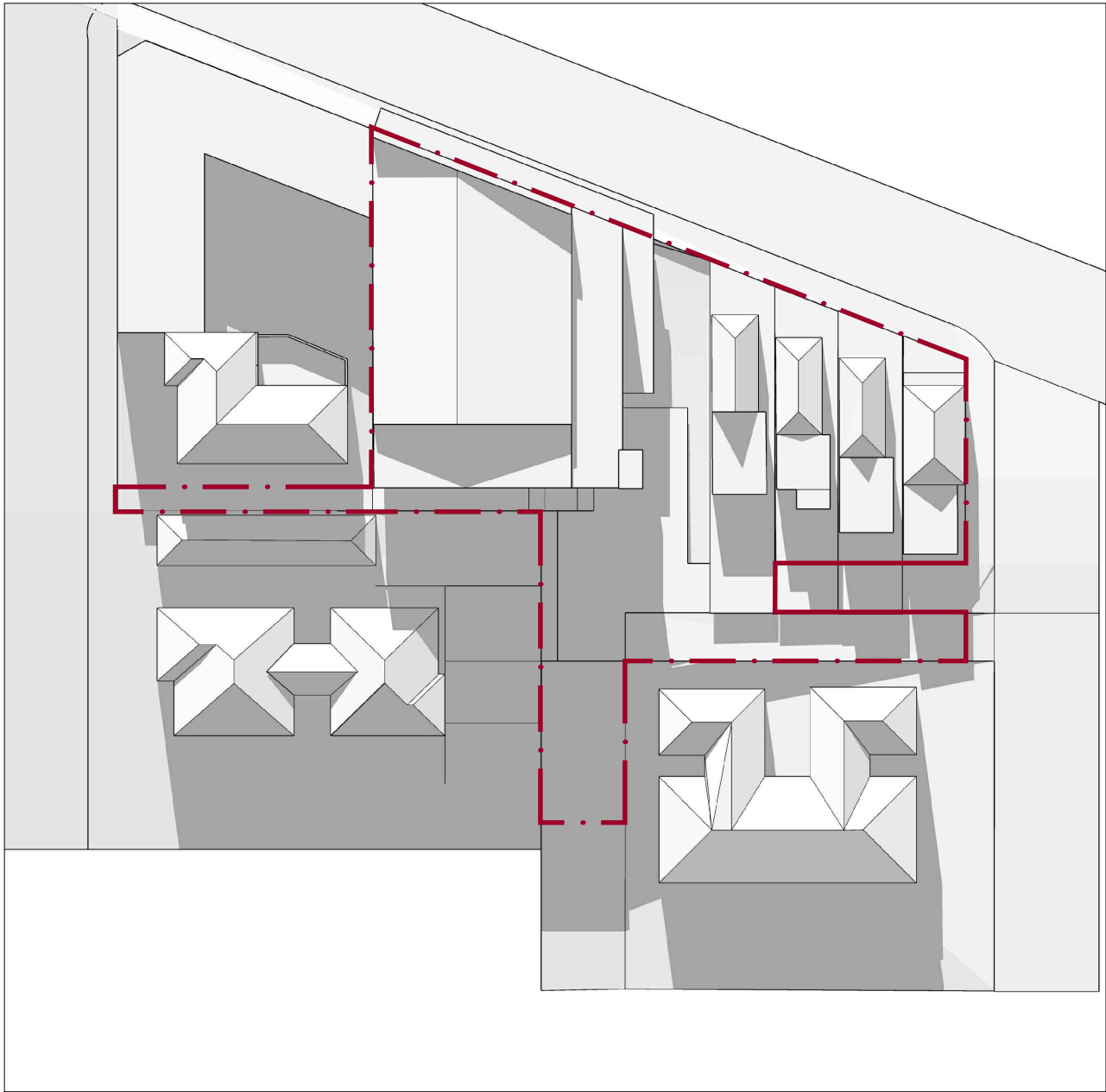


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PROJECT
280-298 Railway Parade, Carlton, NSW

SHADOW ANALYSIS 21JUN 2PM

SCALE 1:400@A1 1:800@A3	DATE 07.03.2019	DRAWN AS	CHECKED PS
JOB 18077	DRAWING DA5.09	REVISION D	



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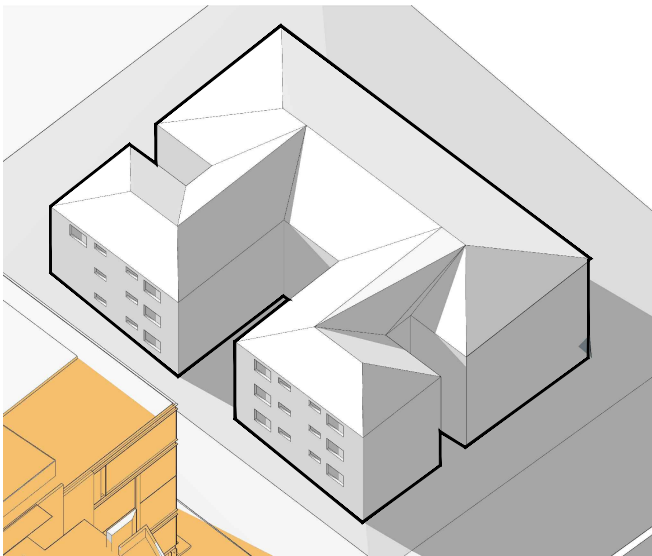
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D	2020.08.18	POST DA SUBMISSION AMENDMENTS	PS

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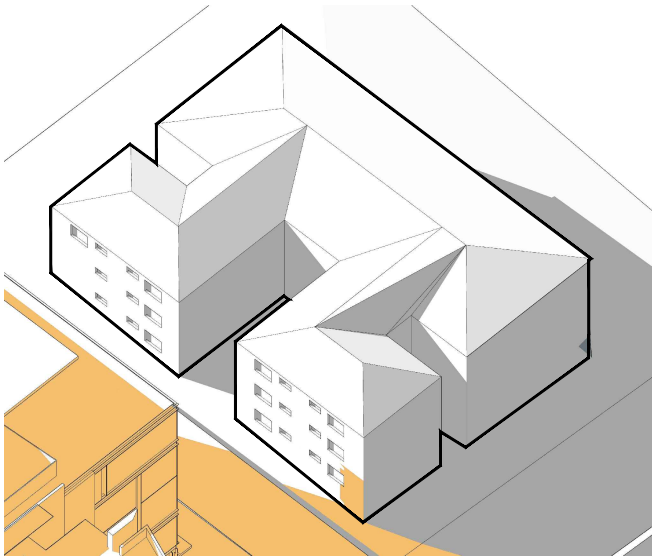
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JOB	18077	DRAWING	DA5.10		REVISION	D	

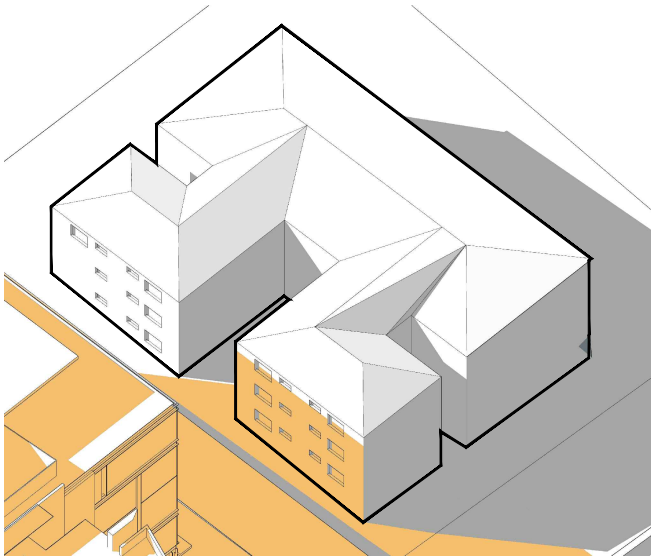
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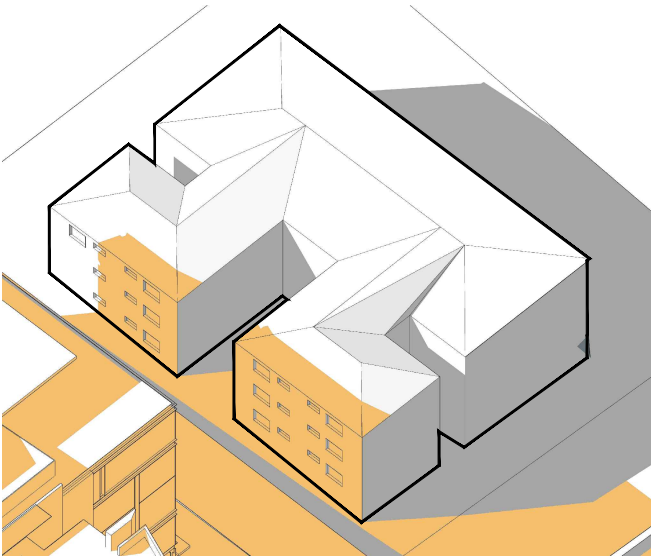
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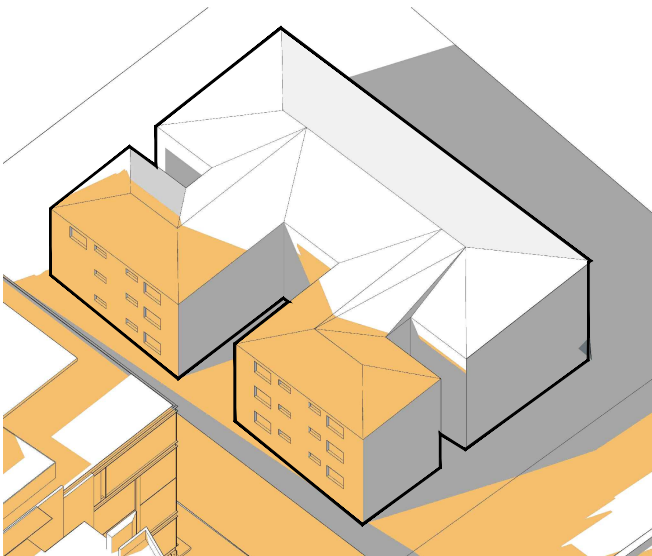
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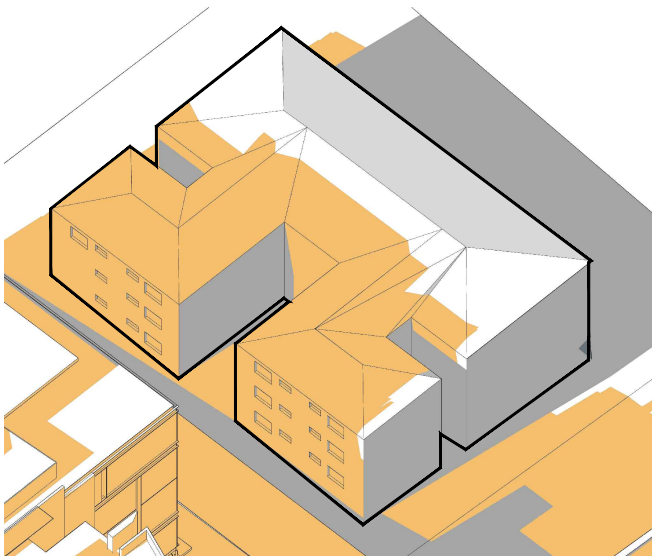
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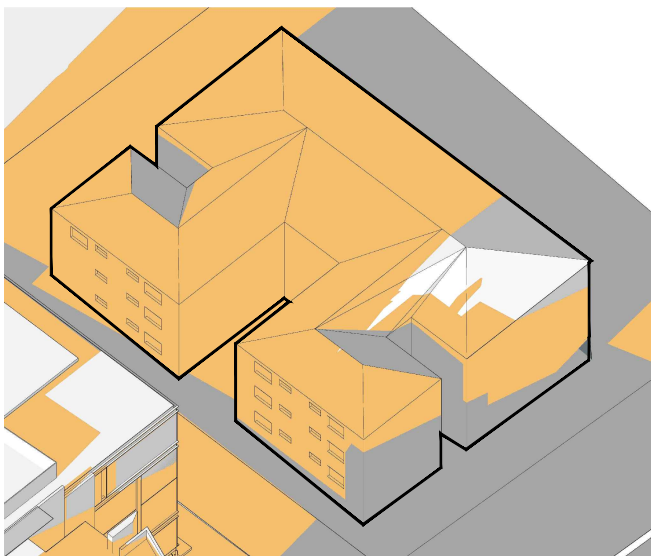
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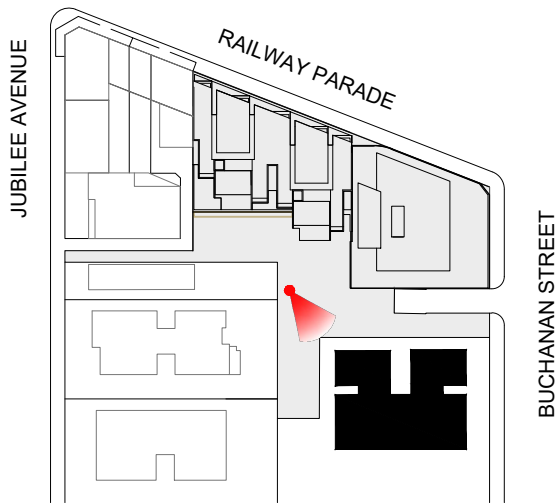
21 JUNE 01:00PM



21 JUNE 02:00PM



21 JUNE 03:00PM



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- SHADOWS PROJECTED BY PROPOSED SCHEME

NOTE: WINDOWS LOCATION IS INDICATIVE

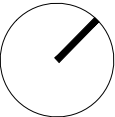
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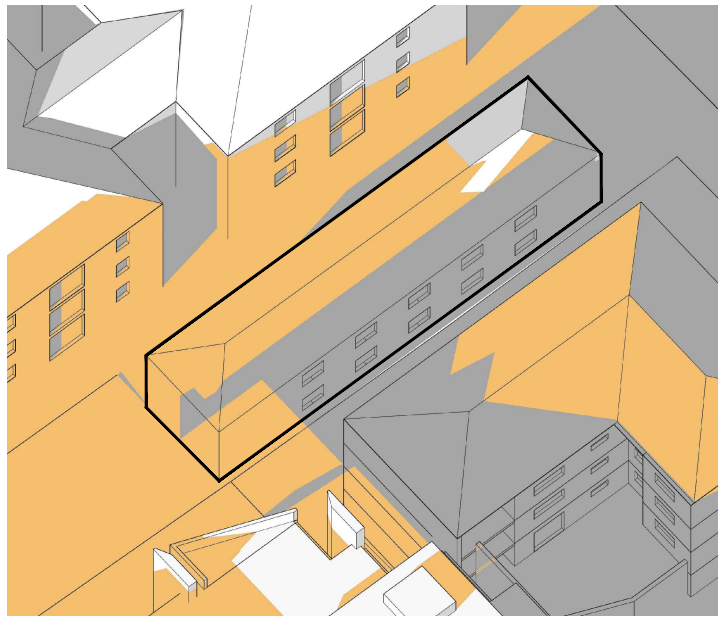
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PROJECT

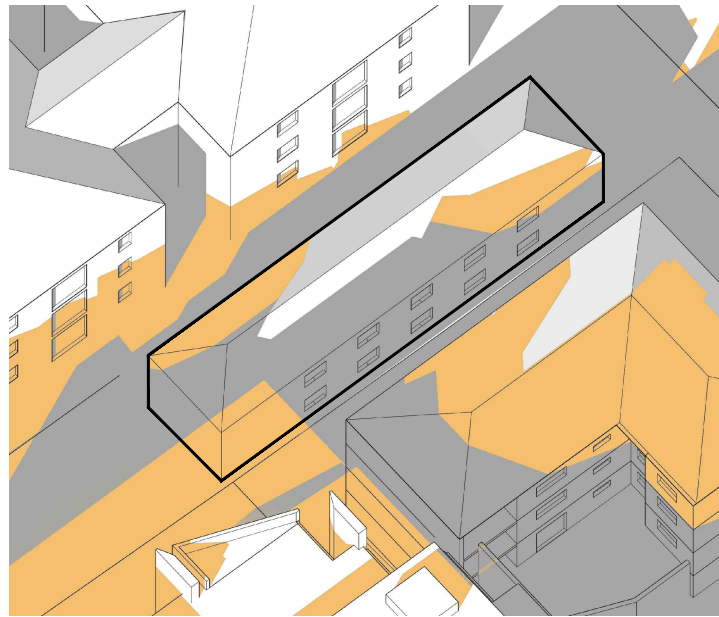
280-298 Railway Parade, Carlton, NSW

SHADOW CAST ANALYSIS
1-7 BUCHANAN ST

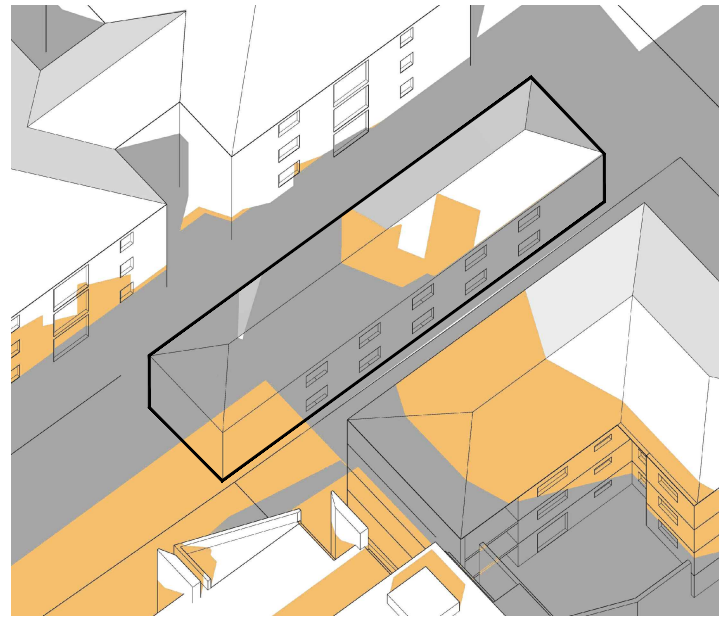
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JOB 18077	DRAWING DA5.18	REVISION D	



21 JUNE 9:00AM



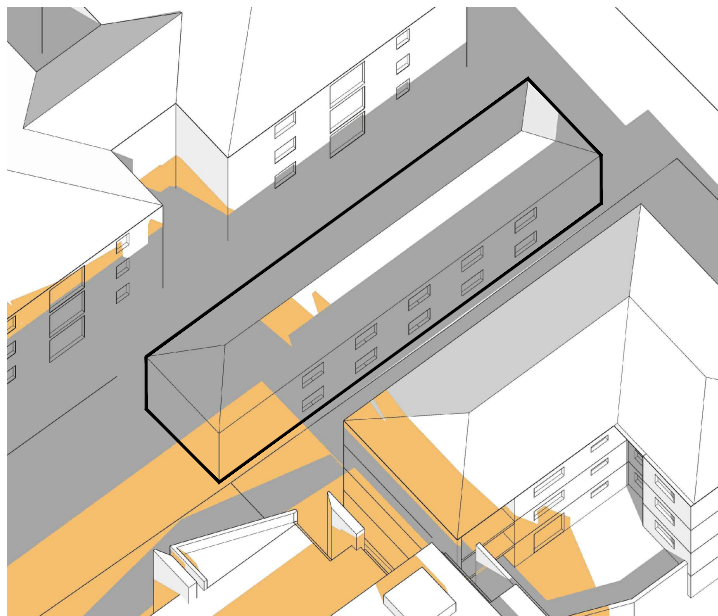
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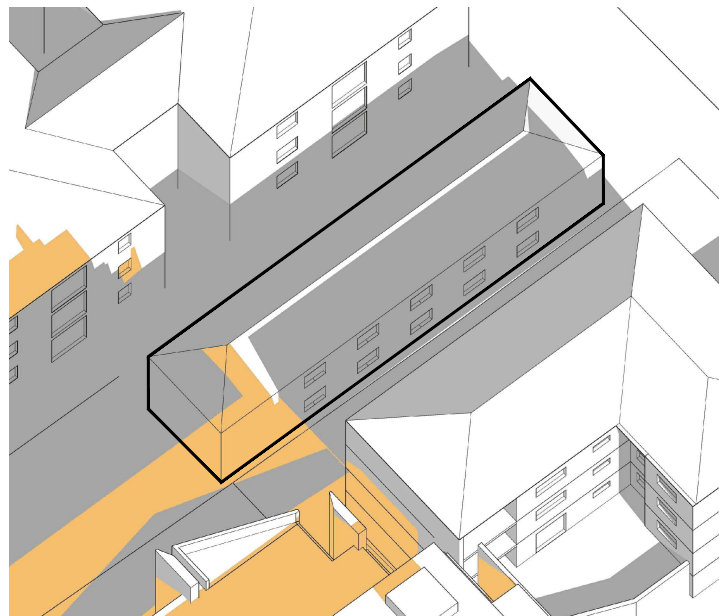
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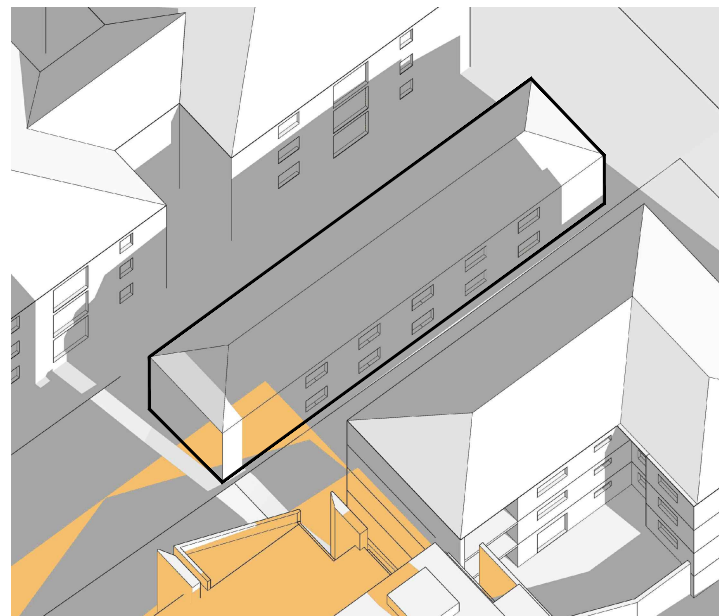
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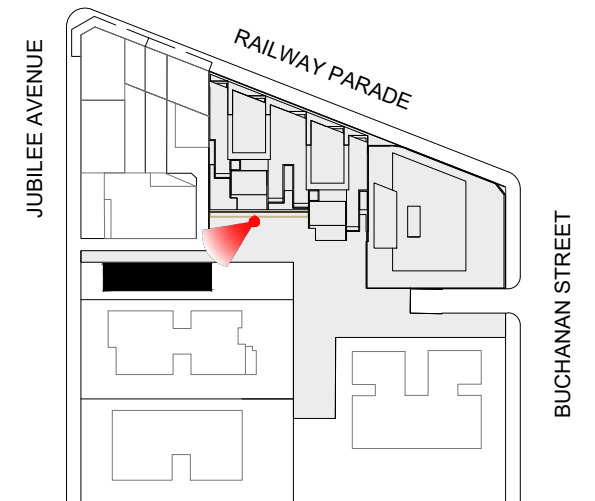
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21 JUNE 02:00PM



21 JUNE 03:00PM



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- SHADOWS PROJECTED BY PROPOSED SCHEME

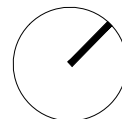
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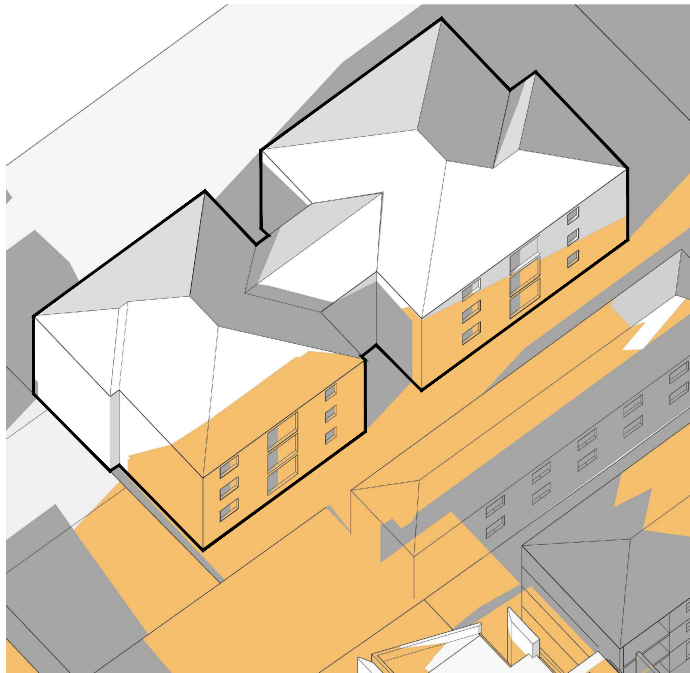


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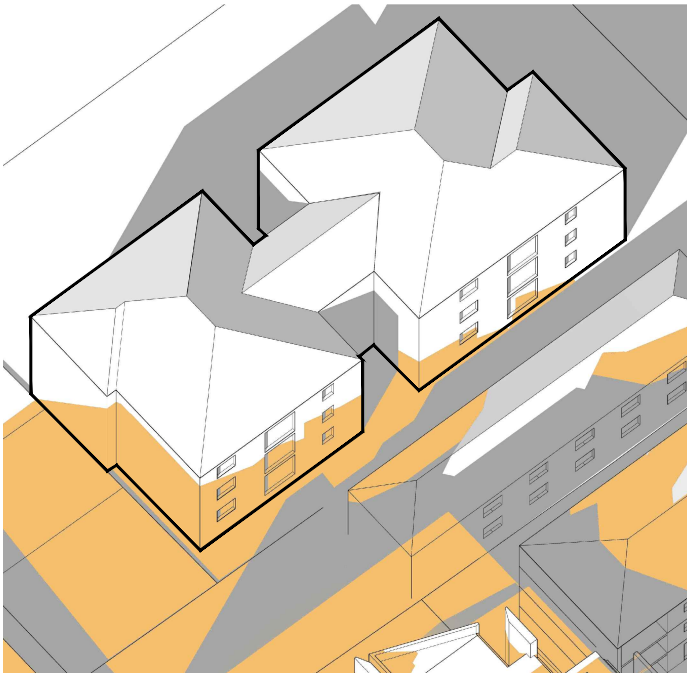
PROJECT
280-298 Railway Parade, Carlton, NSW

SHADOW CAST ANALYSIS
14 JUBILEE AVENUE

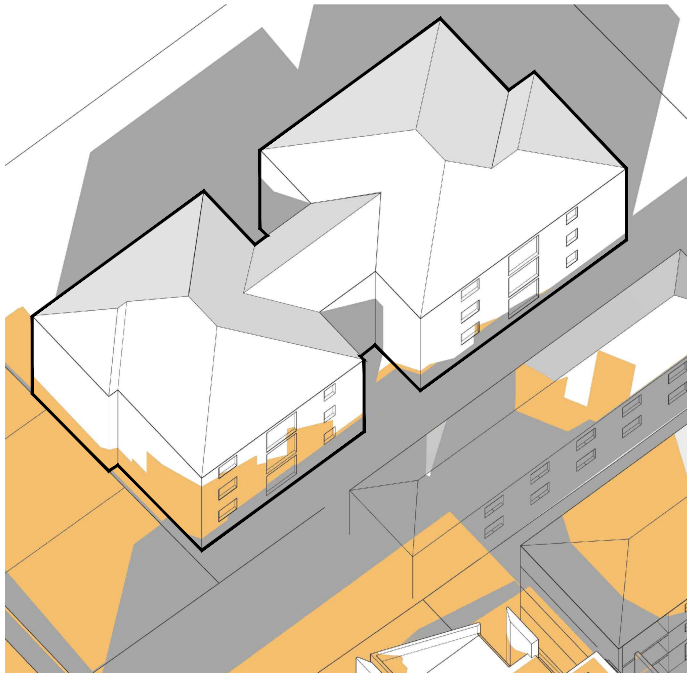
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JOB 18077	DRAWING DA5.19	REVISION D	



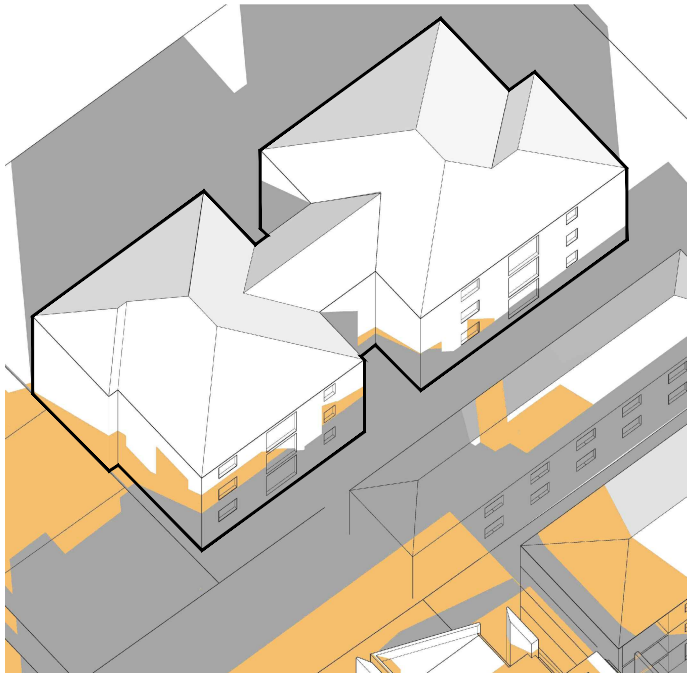
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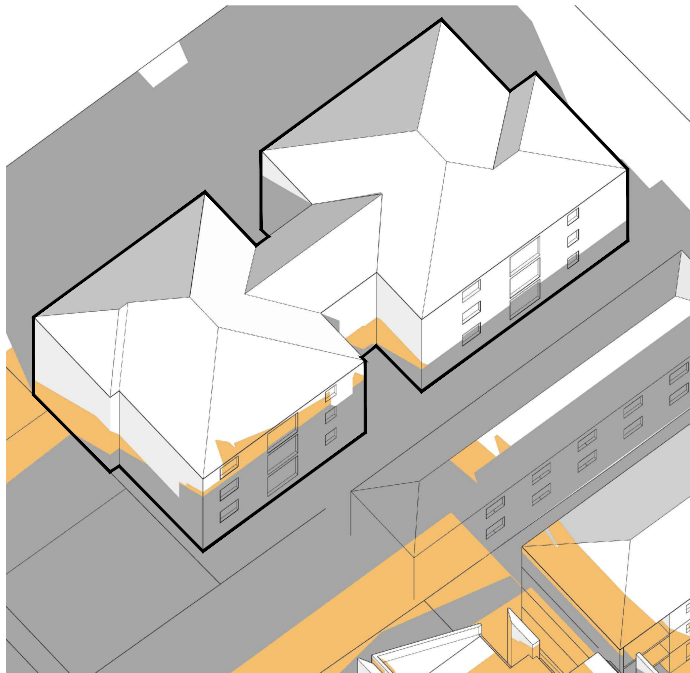
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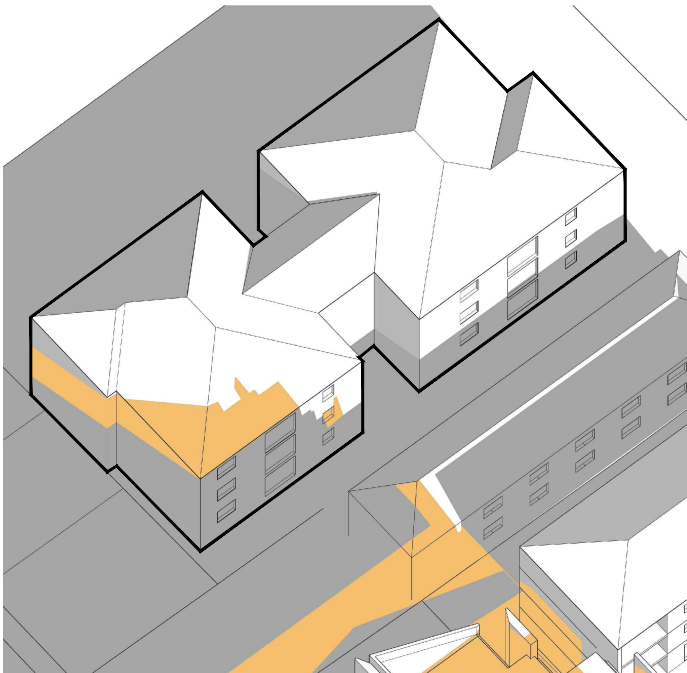
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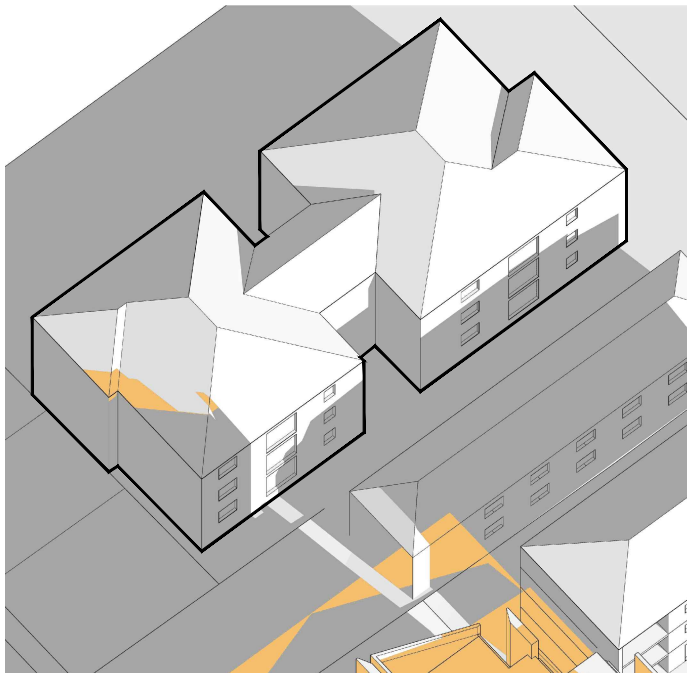
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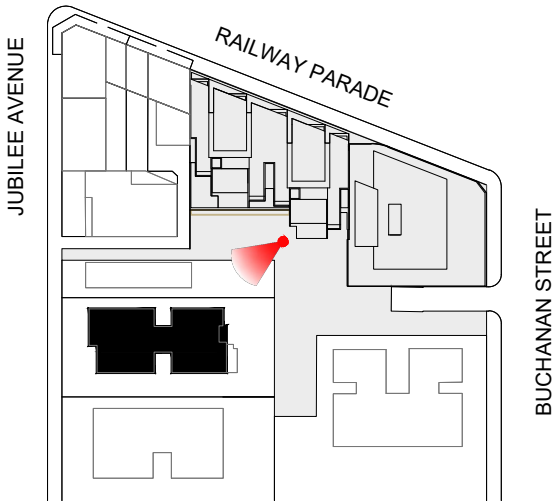
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21 JUNE 03:00PM



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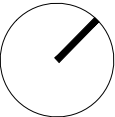
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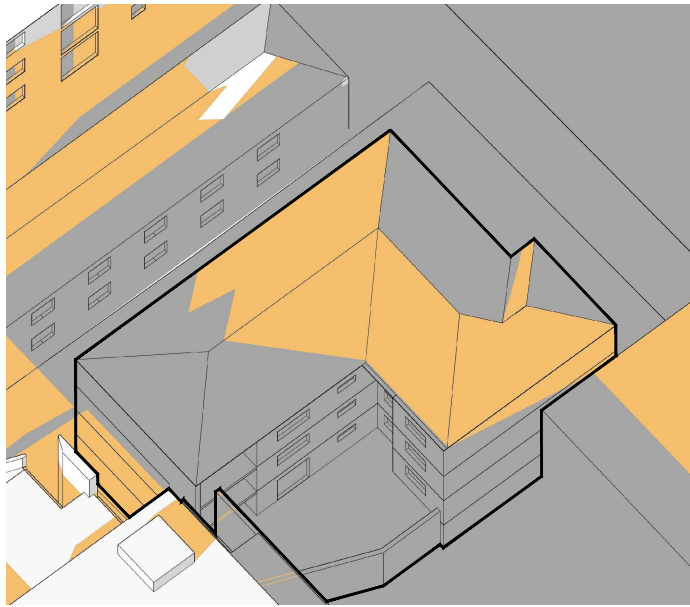


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willowfrank

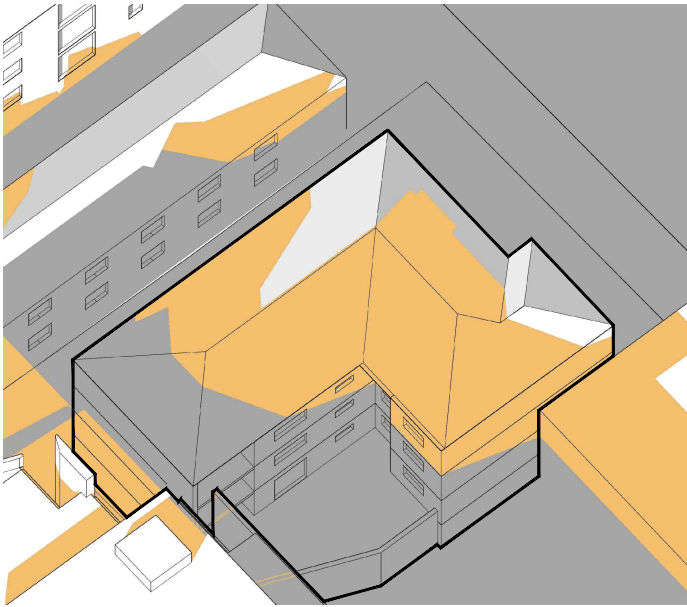
PROJECT
280-298 Railway Parade, Carlton, NSW

SHADOW CAST ANALYSIS
16 JUBILEE AV

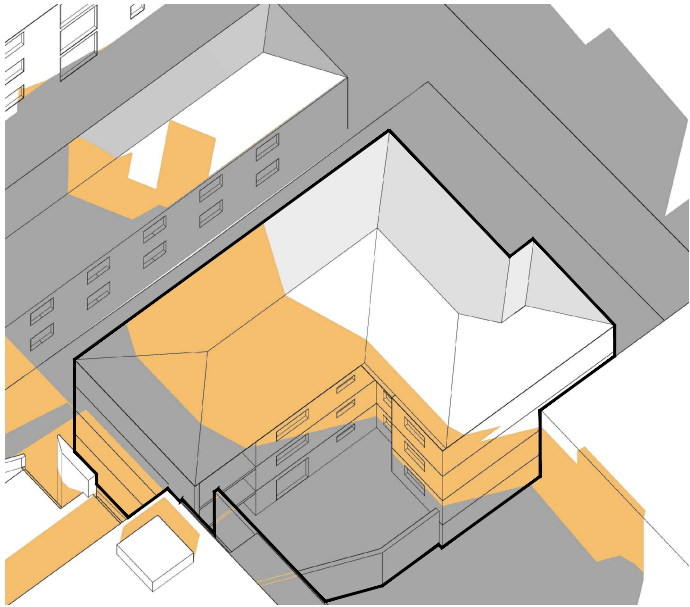
SCALE NTS@A1 NTS@A3	DATE 10.10.2019	DRAWN CS	CHECKED PS
JOB 18077	DRAWING DA5.20	REVISION D	



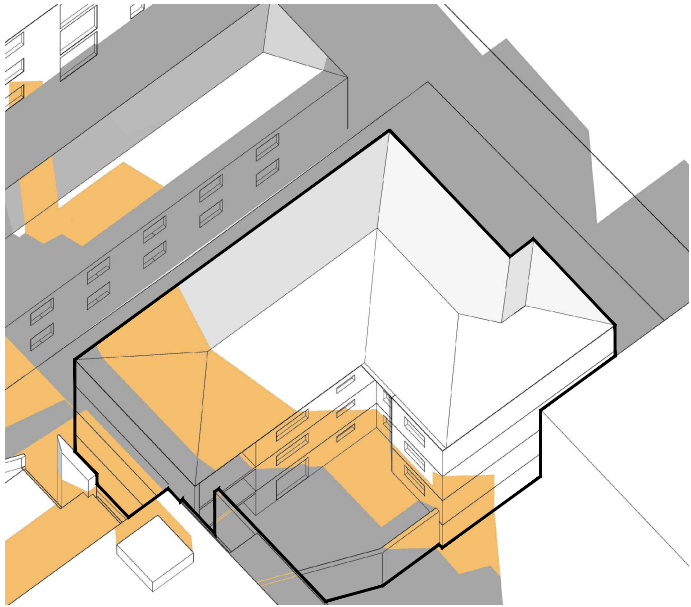
21 JUNE 9:00AM



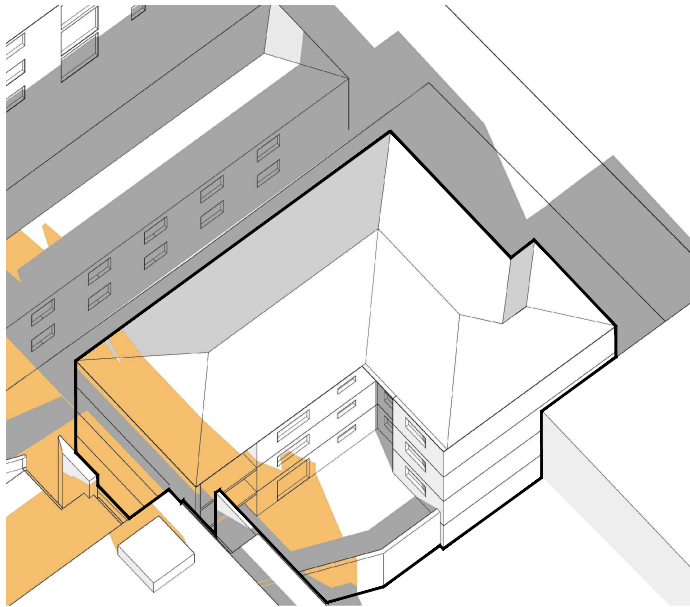
21 JUNE 10:00AM



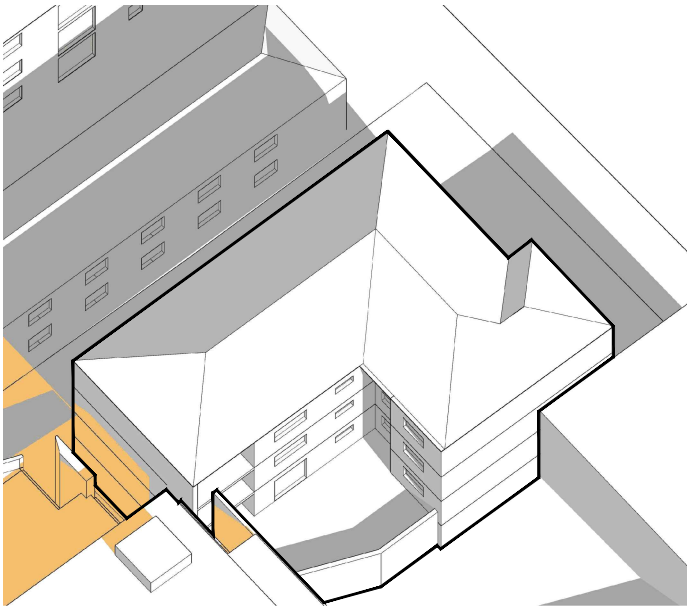
21 JUNE 11:00AM



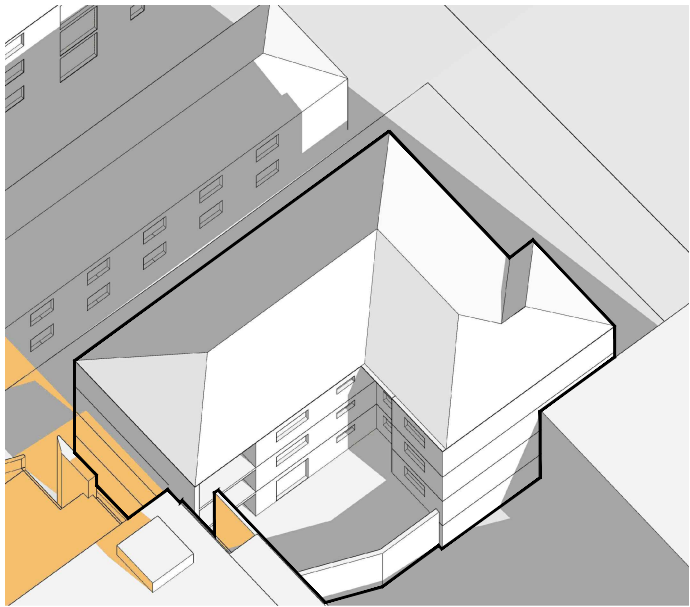
21 JUNE 12:00PM



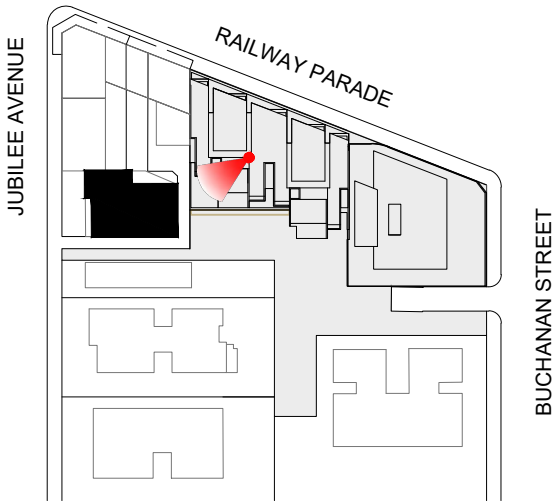
21 JUNE 01:00PM



21 JUNE 02:00PM



21 JUNE 03:00PM



- SHADOWS PROJECTED BY EXISTING CONDITIONS
- SHADOWS PROJECTED BY PROPOSED SCHEME

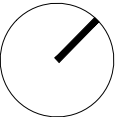
NOTE: WINDOWS LOCATION IS INDICATIVE

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REVISION	DATE	DESCRIPTION	BY
A	2020.08.18	POST DA SUBMISSION AMENDMENTS	PS

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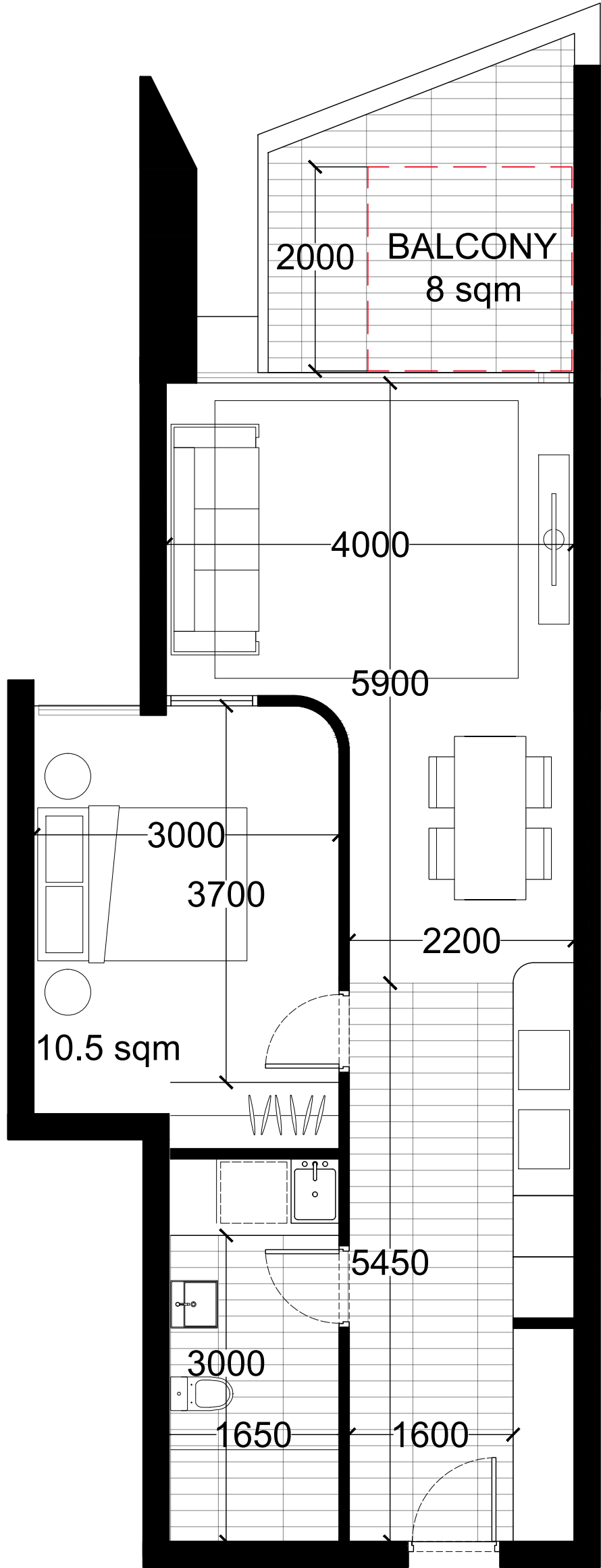


CLIENT
willowfrank

PROJECT
280-298 Railway Parade, Carlton, NSW

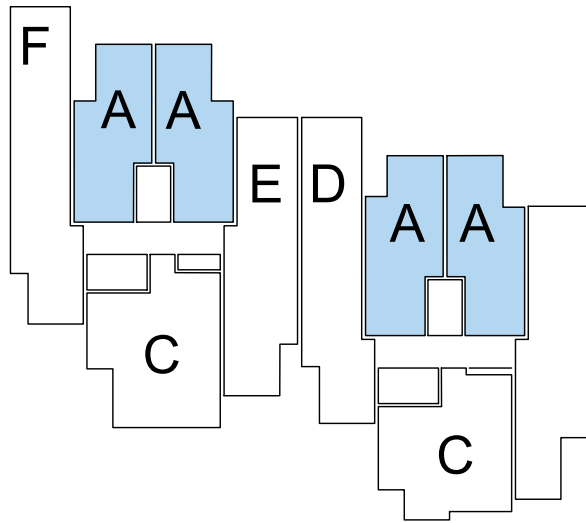
SHADOW CAST ANALYSIS
10 JUBILEE AV

SCALE NTS@A1 NTS@A3	DATE 10.10.2019	DRAWN CS	CHECKED PS
JOB 18077	DRAWING DA5.21	REVISION A	

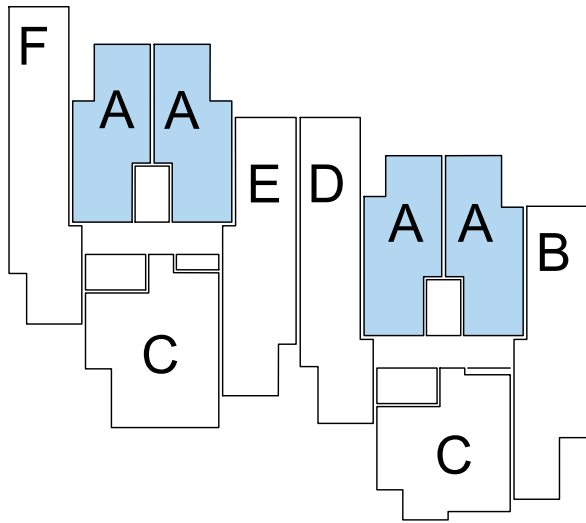


UNIT TYPE A
50sqm
1 BEDROOM

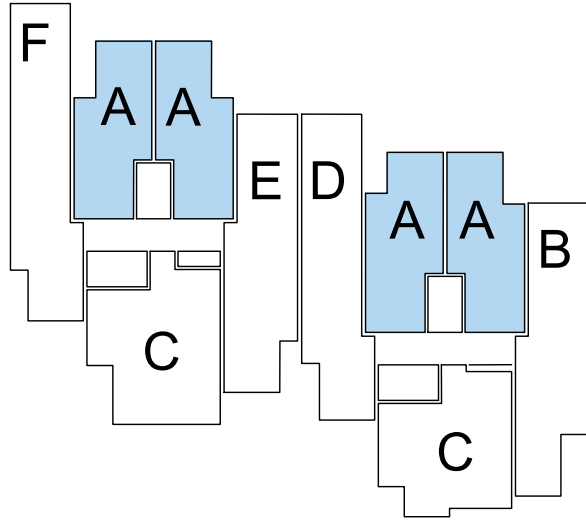
INTERNAL STORAGE 3 m³
EXTERNAL STORAGE 3 m³



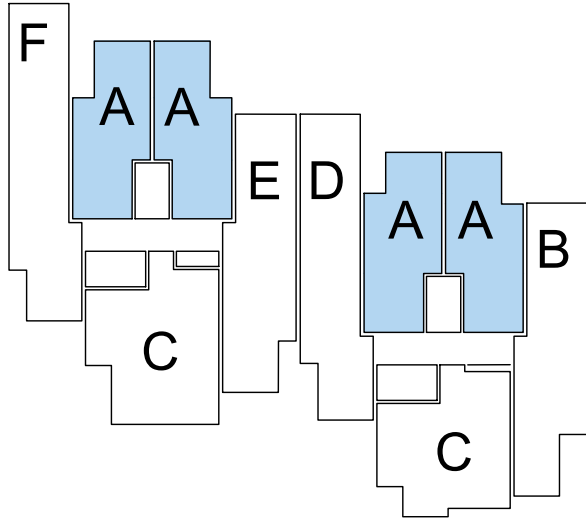
LEVEL 1



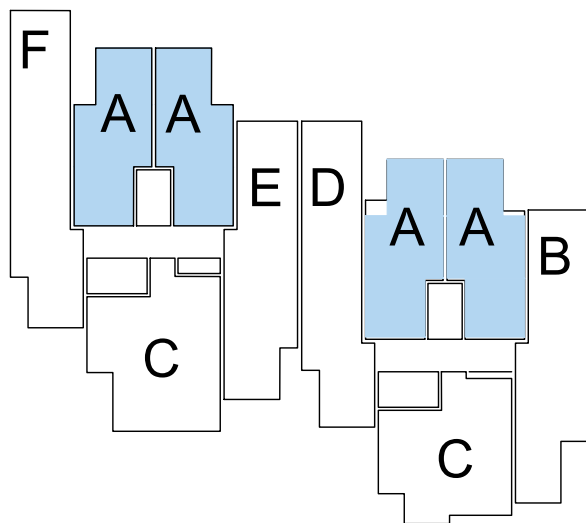
LEVEL 4



LEVEL 2



LEVEL 5



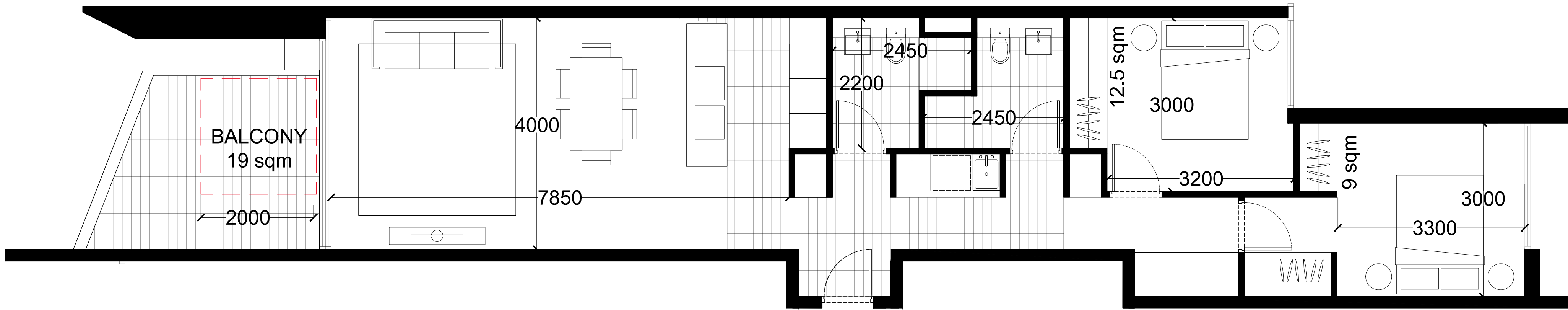
LEVEL 3



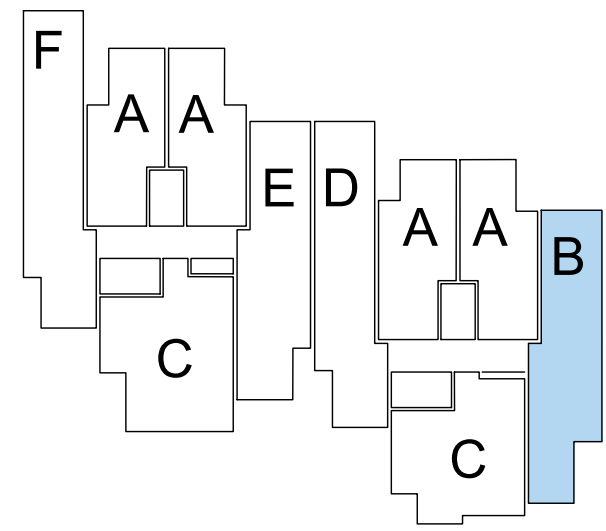
LEVEL 6

PLEASE NOTE THAT THE BALCONY CONFIGURATION REFLECTS THE TYPICAL LEVEL ONLY.
FOR LEVEL 1 PLEASE REFER TO THE MAIN FLOOR PLAN (DA2.07 OR DA2.27)

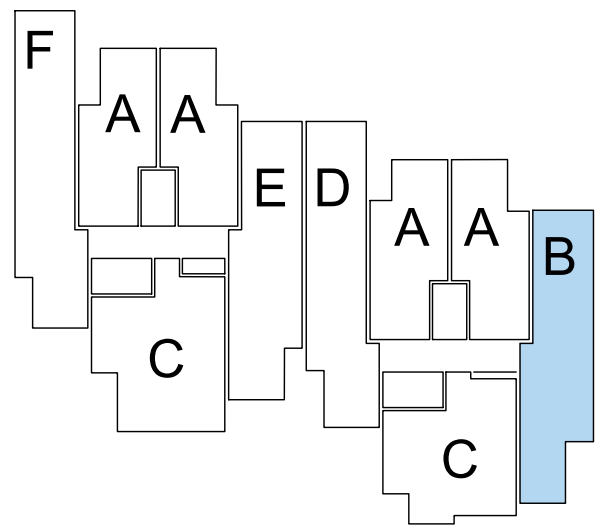
<div>IMPORTANT NOTES:</div> <div>Do not scale from drawings. All dimensions shall be checked on site before commencement of work. All discrepancies shall be brought to the attention of the Architect. Larger scale drawings and written dimensions take precedence. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of MARCHESE PARTNERS INTERNATIONAL PTY. LTD.</div> <div>FOR APPROVAL</div> <div>NOT FOR CONSTRUCTION</div>	REVISION	DATE	DESCRIPTION	BY	<div>marchesepartners</div> <div>Marchese Partners International Pty Ltd Level 1, 53 Walker Street, North Sydney, NSW 2060, Australia P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com www.marchesepartners.com Sydney · Brisbane · Canberra · Melbourne · Adelaide Kuala Lumpur · Auckland · Christchurch · London · Madrid ABN 20 098 552 151</div>		CLIENT		UNIT TYPE A			
	A	2019.09.24	FOR COORDINATION	CS			PROJECT 280-298 Railway Parade, Carlton, NSW		SCALE 1:50@A1 1:100@A3	DATE 20.08.19	DRAWN AS	CHECKED PS
	B	2019.11.04	FOR COORDINATION	AS								
	C	2020.08.18	POST SUBMISSION AMENDMENTS	PS								
	D	2020.08.19	POST SUBMISSION AMENDMENTS	PS			JOB		DRAWING		REVISION	
					18077		DA6.01		D			



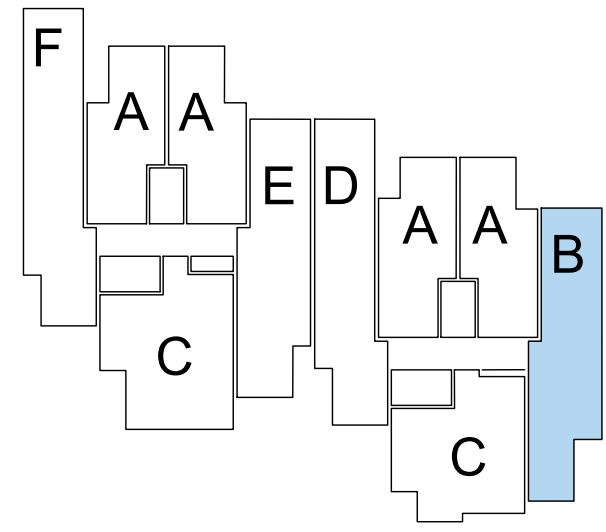
UNIT TYPE B
82 sqm
2 BEDROOM
INTERNAL STORAGE 4.5 m³
EXTERNAL STORAGE 3.5 m³



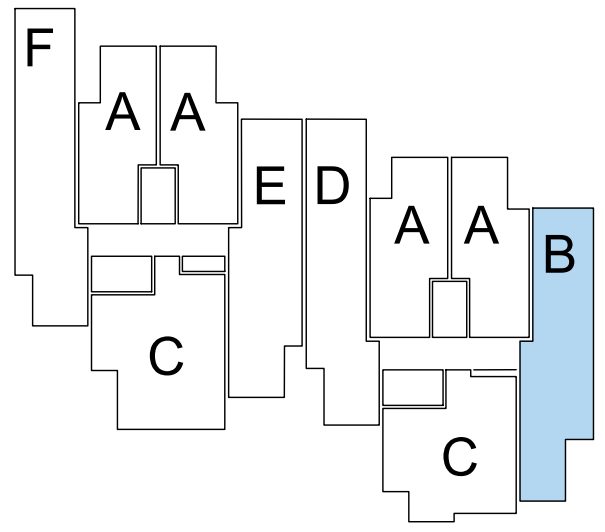
LEVEL 1



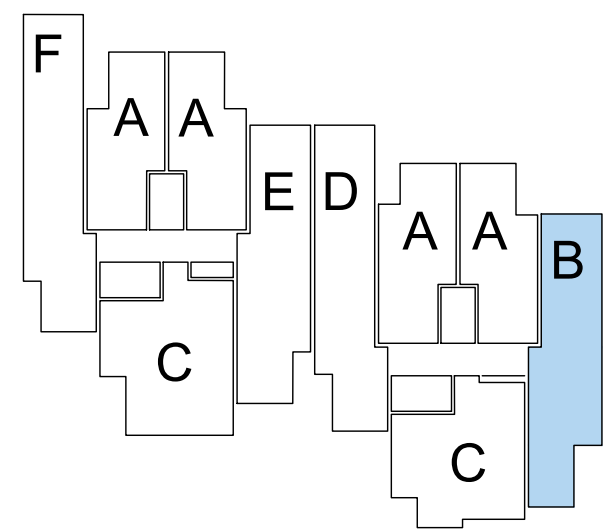
LEVEL 4



LEVEL 2



LEVEL 5



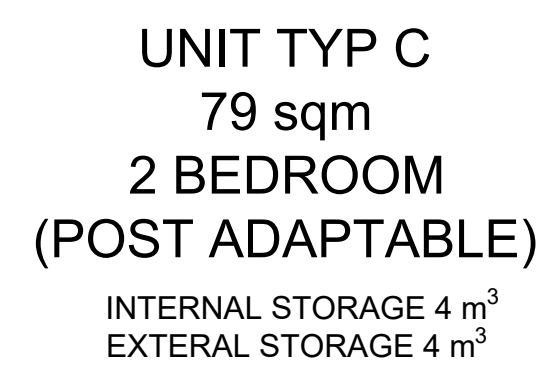
LEVEL 3



LEVEL 6

PLEASE NOTE THAT THE BALCONY CONFIGURATION REFLECTS THE TYPICAL LEVEL ONLY.
FOR LEVEL 1 PLEASE REFER TO THE MAIN FLOOR PLAN (DA2.07 OR DA2.27)

<div>IMPORTANT NOTES: Do not scale from drawings. All dimensions shall be checked on site before commencement of work. All discrepancies shall be brought to the attention of the Architect. Larger scale drawings and written dimensions take precedence. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of MARCHESE PARTNERS INTERNATIONAL PTY. LTD.</div> <div>FOR APPROVAL NOT FOR CONSTRUCTION</div>	REVISION		DATE	DESCRIPTION	BY	<div>marchesepartners</div> <div>Marchese Partners International Pty Ltd Level 1, 53 Walker Street, North Sydney, NSW 2060, Australia P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com www.marchesepartners.com Sydney · Brisbane · Canberra · Melbourne · Adelaide Kuala Lumpur · Auckland · Christchurch · London · Madrid ABN 20 098 552 151</div>	CLIENT		UNIT TYPE B							
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	B	2019.09.24		FOR COORDINATION	AS											
	C	2019.11.14		FOR COORDINATION	AS											
	D	2020.08.18		POST SUBMISSION AMENDMENTS	PS											
	JOB		18077		DRAWING DA6.02		REVISION D									



LEVEL 1

LEVEL 4

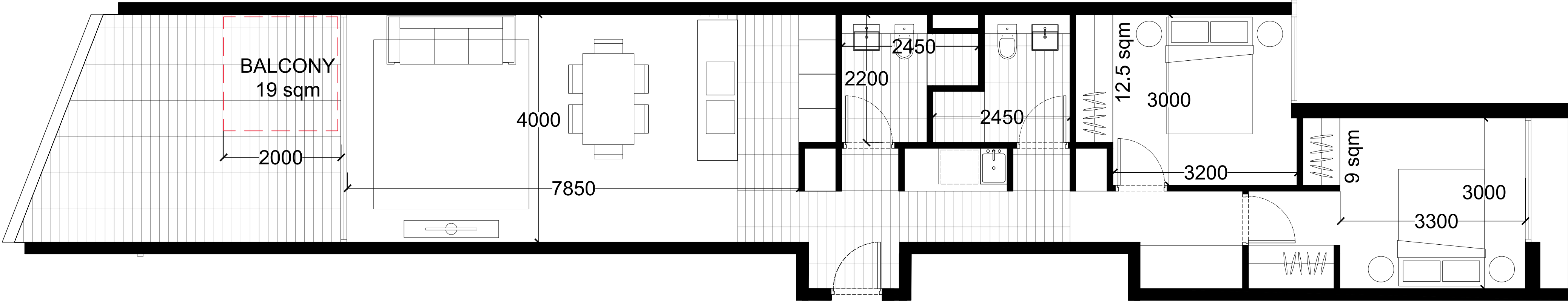
LEVEL 2

LEVEL 5

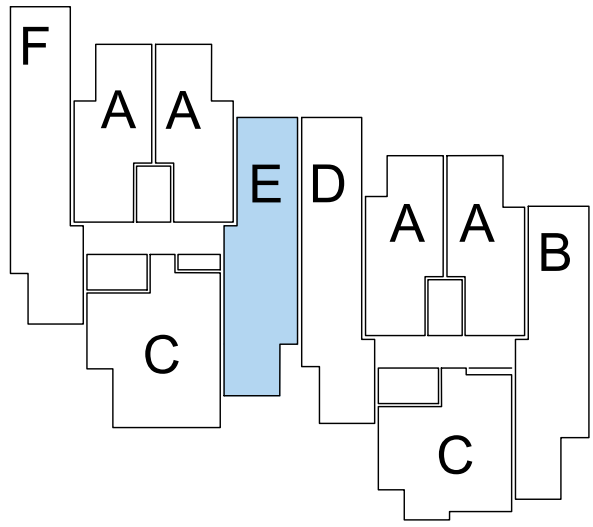
LEVEL 3

LEVEL 6

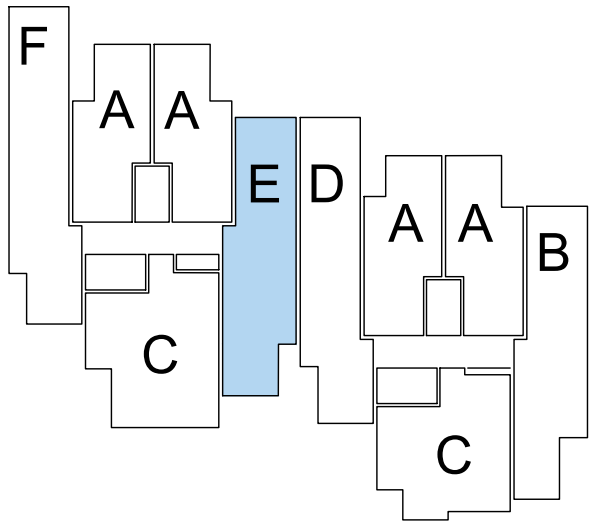
SCALE 1:50@A1 1:100@A3	DATE 20.08.18	DRAWN CS	CHECKED PS
JOB 18077	DRAWING DA6.03		REVISION D



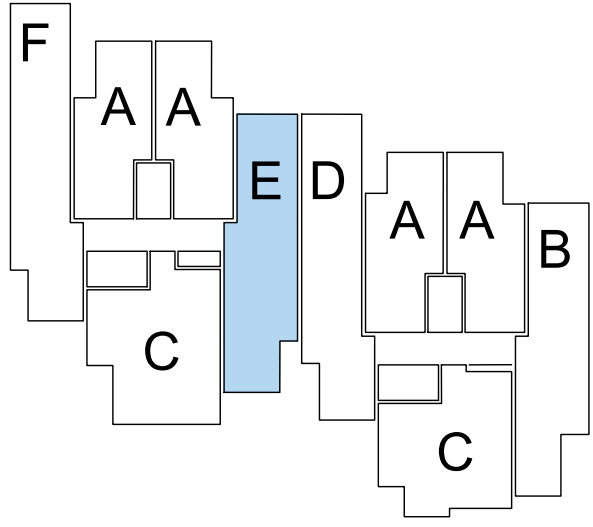
UNIT TYPE E
82 sqm
2 BEDROOM
INTERNAL STORAGE 4.5 m³
EXTERNAL STORAGE 3.5 m³



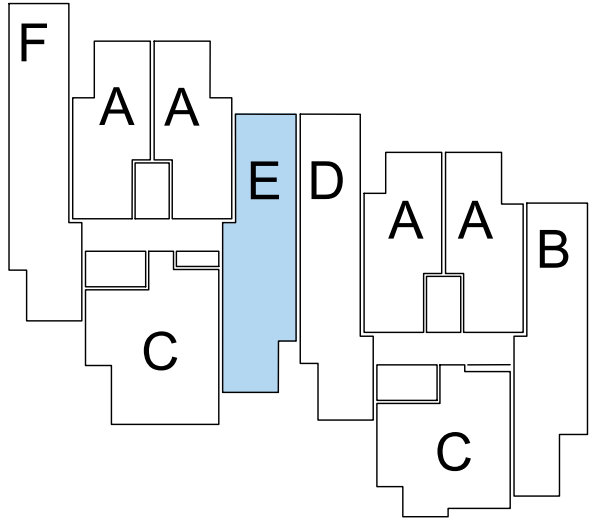
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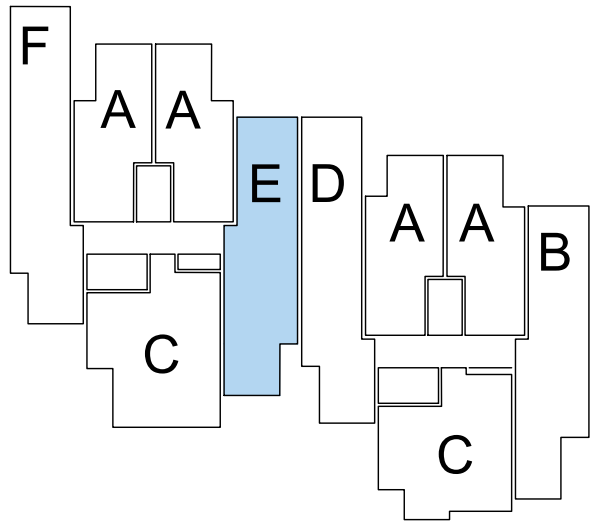
LEVEL 4



LEVEL 2



LEVEL 5



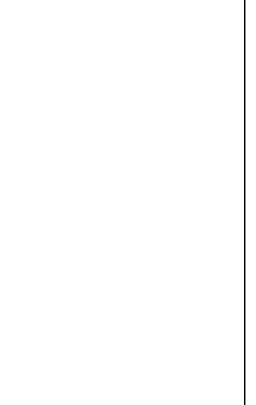
LEVEL 3



LEVEL 6

PLEASE NOTE THAT THE BALCONY CONFIGURATION REFLECTS THE TYPICAL LEVEL ONLY.
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	C	2019.11.14	FOR COORDINATION	AS				JOB 18077	DRAWING DA6.05	REVISION D	
	D	2020.08.18	POST SUBMISSION AMENDMENTS	PS							

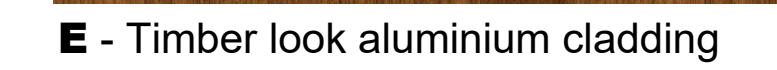
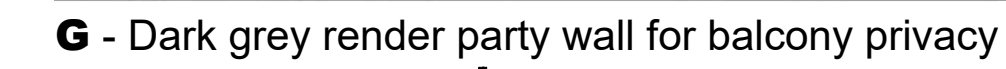


INTERNAL STORAGE 4.5 m³
EXTERNAL STORAGE 3.5 m³

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REVISION
D



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	A	2019.09.20	FOR COORDINATION	CS								
	B	2019.11.14	FOR COORDINATION	AS								
	C	2019.12.18	FOR DA LODGEMENT	AS								
	D	2020.08.18	FOR DA LODGEMENT	AS								
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	A	2019.02.01	PRELIMINARY	CS			PROJECT 280-298 Railway Parade, Carlton, NSW	SCALE				
	B	2019.02.10	PRELIMINARY	CS								
	C	2019.03.07	PRE-DA	PS								
	D	2019.12.18	DA LODGEMENT	AS								
	E	2020.08.18	POST SUBMISSION AMENDMENTS	PS								



<div>IMPORTANT NOTES:</div> <div>Do not scale from drawings. All dimensions shall be checked on site before commencement of work. All discrepancies shall be brought to the attention of the Architect. Larger scale drawings and written dimensions take precedence. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of MARCHESE PARTNERS INTERNATIONAL PTY. LTD.</div> <div>FOR APPROVAL</div> <div>NOT FOR CONSTRUCTION</div>	REVISION	DATE	DESCRIPTION	BY	<div>marchesepartners</div> <div>Marchese Partners International Pty Ltd Level 1, 53 Walker Street, North Sydney, NSW 2060, Australia P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com www.marchesepartners.com Sydney · Brisbane · Canberra · Melbourne · Adelaide Kuala Lumpur · Auckland · Christchurch · London · Madrid ABN 20 098 552 151</div>			CLIENT	<div>willowfrank</div>	VIEW 2
	A	2019.02.01	PRELIMINARY	CS						
	B	2019.02.10	PRELIMINARY	CS						
	C	2019.03.07	PRE-DA	PS						
	D	2019.12.18	DA LODGEMENT	AS						
	E	2020.08.18	POST SUBMISSION AMENDMENTS	PS						
PROJECT				SCALE	DATE	DRAWN	CHECKED			
280-298 Railway Parade, Carlton, NSW					11.02.2019	AS	PS			
JOB				DRAWING		REVISION				
18077				DA8.02		E				



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	C	2019.03.07	PRE-DA	PS										
	D	2019.12.18	DA LODGEMENT	AS										
	E	2020.08.18	POST SUBMISSION AMENDMENTS	PS										